

**THE VILLAGE OF DEXTER  
VILLAGE COUNCIL MEETING  
MONDAY December 10, 2007**

**\*\*\*\*\*7:30pm\*\*\*\*\***

**Dexter Senior Center, 7720 Dexter Ann Arbor Road**

**A. CALL TO ORDER AND PLEDGE OF *ALLEGIANCE***

**B. ROLL CALL:** President Pro-Tem Keough      J.Carson      P. Cousins  
D. Fisher      J. Semifero  
R. Tell

**C. APPROVAL OF THE MINUTES**

1. Regular Council Meeting Minutes – November 26, 2007

**Page# 1-6**

**D. PRE-ARRANGED PARTICIPATION:**

*Pre-arranged participation will be limited to those who notify the Village office before 5:00 p.m. Tuesday of the week preceding the meeting, stating name, intent and time requirements. (10-minute limit per participant)*

Mike Donahue, Dam Removal Update

**Page# 7-46**

**E. APPROVAL OF AGENDA:**

**F. PUBLIC HEARINGS**

*Action on each public hearing will be taken immediately following the close of the hearing*

*"This meeting is open to all members of the public under Michigan Open Meetings Act."*

**[www.villageofdexter.org](http://www.villageofdexter.org)**

**G. NON-ARRANGED PARTICIPATION:**

*Non-arranged participation will include those in the audience not listed on the agenda that wish to speak. At the Village President's discretion, members of the audience may be called on to speak at any time. Those addressing the Council will state their name, and address. This section is limited to 5-minutes per participant or 10-minutes for group representatives*

**H. COMMUNICATIONS:**

1. MEDC Certificate of Completion 11-29-07
2. Redevelopment Workshop
3. WCRC Permit for UMRC Letter 11-21-07

**Page# 47-52**

**I. REPORTS:**

1. Community Development Manager – Allison Bishop

**Page# 53-54**

2. Board and Commission Reports- "Bi-annual or as needed"

Dexter Area Chamber

Downtown Development Chair

**DAFD Representative- Joe S. or Ray T.**

Farmer's Market Representative

Gordon Hall Mgmt Team/DAHS&M Rep.

HRWC Representative

Library Board Representative

Planning Commission Chair

Parks Commission Chair

Tree Board Chair

WATS Policy Committee Representative

WWAVE, Representative

**Page# 55-56**

3. Subcommittee Reports

Facility Committee-None

Utility Committee- 12-3-07 Joe Semifero

Mill Pond Planning Team- 12-3-07 Joe Semifero

**Page# 57-68**

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4. Village Manager Report

Page# 69-76

5. President's Report

**J. CONSENT AGENDA**

*Bills & Payroll will be a standing item under consent agenda. Discussion of the Budget and Financial matters will be covered under the Presidents Report as a standing item. Items under consent agenda are considered routine and will be acted upon in one motion. There will be no separate discussion of these items unless a Council Member so requests, and the item will be removed from Consent and added to the regular agenda at the end of New Business.*

1. Consideration of: Payroll in the amount of: \$ 72,135.87

Page# 77-78

**K. OLD BUSINESS- Consideration and Discussion of:**

1. Discussion of: Main Street Bridge Project & Phase 2 Funding Update  
Utility Coordination Meeting 11-27-07

Page# 79-84

2. Consideration of: UMRC Development Agreement  
Meeting scheduled 12-12-07

**L. NEW BUSINESS- Consideration and Discussion of:**

1. Consideration of: Filling of Vacancy -Village President

The President makes the first nomination and any council member can also make one nomination if they choose.

The nominees are then voted on in the same order in which they were nominated.

When one nominee receives 4 votes, the affirmation of nominees is then closed and that nominee is then appointed and sworn into office.

If in the event no nominee receives 4 votes, each nominee is allowed to confirm their intent to fill the open council seat and the nomination process begins again at step 5.

Page# 85-86

2. Consideration of: Filling of Vacancy-Village Trustee

The President makes the first nomination and any council member can also make one nomination if they choose.

The nominees are then voted on in the same order in which they were nominated.

When one nominee receives 4 votes, the affirmation of nominees is then closed and that nominee is then appointed and sworn into office.

If in the event no nominee receives 4 votes, each nominee is allowed to confirm their intent to fill the open council seat and the nomination process begins again at step 5.

**Page# 87-94**

3. Discussion of: Informal Town Hall Meeting 1-17-08 and Meeting Guideline

**Page# 95-96**

4. Consideration of: Recommendation to accept the Traffic Count Proposal from  
Midwestern Consulting at a cost not to exceed \$1,600

**Page# 97-98**

5. Consideration of: Recommendation to dedicate a portion of Cambridge Drive and  
Preston Circle as Public Roads

**Page# 99-114**

6. Consideration of: RESOLUTION REGARDING THE 2008 DTE TREE  
PLANTING GRANT APPLICATION

**Page# 115-116**

7. Consideration of: RESOLUTION FOR THE PURPOSE OF AUTHORIZING  
STAFF AND THE PARKS COMMISSION TO CONTRACT  
WITH OHM FOR ENGINEERING AND DESIGN SERVICES  
FOR THE COMMUNITY PARK PLAY COURT

**Page# 117-122**

8. Consideration of: Recommendation from Parks Commission that a fee be  
established for the rental of the gazebos in the Village by non-  
residents.

**Page# 123-128**

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9. Consideration of: Recommendation from Parks Commission that the Village apply to be a Tree City USA in 2008

**Page # 129-132**

10. Consideration of: Recommendation to accept the proposal from OHM to complete the Wastewater System Modeling Services at a not to exceed amount of \$15,000

**Page # 133-136**

11. Consideration of: Recommendation to accept the 2008 Meeting Schedule

**Page# 137-138**

**M. COUNCIL COMMENTS**

**N. NON-ARRANGED PARTICIPATION**

*Same as item F. Those addressing the Council will state their name, and address. This section is limited to 5-minutes per participant or 10-minutes for group representatives.*

**O. ADJOURNMENT:**

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DEXTER VILLAGE COUNCIL  
REGULAR MEETING  
MONDAY, NOVEMBER 26, 2007

AGENDA 12-10-07  
ITEM C-1

A. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

The meeting was called to order at 7:30 by President Seta in the Dexter Senior Center located at 7720 Dexter Ann Arbor Rd. in Dexter, Michigan

B. ROLL CALL:

D. Fisher    P. Cousins    S. Keough  
J. Semifero    J. Carson    R. Tell  
J. Seta

C. APPROVAL OF THE MINUTES

Minutes of the Regular Council meeting of November 12, 2007.

Motion Carson, support Semifero to approve the minutes as presented.

Ayes: Cousins, Fisher, Keough, Semifero, Tell, Carson, Seta.

Nays: none

Motion carries

Work Session Minutes- November 12, 2007

Motion Keough, support Cousins to accept the Work session minutes, November 12, 2007 as presented.

Ayes: Keough, Semifero, Tell, Carson, Fisher, Cousins, Seta.

Nays: none

Motion carries

D. PREARRANGED PARTICIPATION

1. Joe Nowak- newly appointed Dexter Area Chamber of Commerce President

Mr. Nowak introduces himself to Council.

E. APPROVAL OF THE AGENDA

Motion Semifero, support Carson to accept the agenda as presented.

Ayes: Semifero, Tell, Fisher, Carson, Cousins, Keough, Seta

Nays: none

Motion carries

F. PUBLIC HEARINGS

POSTED HEARING: Development Plan and Tax Increment Financing Plan of the Dexter Downtown Development Authority

Public hearing open at 7:39  
Public hearing closed at 7:40

no public comment

Action: Consideration of : Ordinance No. 33-2007 approving the Development Plan and Tax Increment Financing Plan for the Dexter Downtown Development Authority

Motion Carson, support Semifero to approve the Development Plan and Tax Increment Financing Plan for the Dexter Downtown Development Authority

Ayes: Tell, Carson, Cousins, Keough, Fisher, Semifero, Seta.  
Nays: none  
Motion carries

#### G. NON-ARRANGED PARTICIPATION:

Mary Fialkowski of 8055 Forest St.

1. Thank you to Mr. Seta
2. Citizen's for Responsible Government, CRG has 500 signatures against the 425 agreement and proposed development ( [crinfo@dexter-ourtown.org](mailto:crinfo@dexter-ourtown.org))

#### H. COMMUNICATIONS:

none

#### I. REPORTS

1. Treasurer/Finance-Marie Sherry
  - a. First Quarter Report 2007-08
  - b. Cash balance report as of Sept. 30, 2007
2. Community Development Manager-Allison Bishop
  - i. Meeting updates: ZBA, Parks Commission and Tree Board
3. Board and Commission reports
4. Subcommittee reports
5. Village Manager Report
  - a. Mrs. Dettling submits her report as per packet.
    - i. Council meeting date will be changed from December 24 to December 20
6. President's report

#### J. CONSENT AGENDA

1. Consideration of: Bills and Payroll in the amount of \$143,535.60



2. Consideration of: Request from Dexter Area Chamber of Commerce to hold Victorian Christmas on December 7<sup>th</sup> and 8<sup>th</sup>, 2007 in Monument Park, a Holiday Parade down Main St. on Saturday the 8<sup>th</sup> at 4:00 and a 5k Candy Cane Run on Saturday the 8<sup>th</sup> at 4:30. The requested street closures will be Central St. on December 8<sup>th</sup> from 8:00 A.M. to 8:00 P.M. and a portion of Dexter-Ann Arbor Rd. on September 8<sup>th</sup> during the Candy Cane Run.

Motion Carson, support Semifero to approve the consent agenda as presented.

Ayes: Carson, Cousins, Fisher, Keough, Semifero, Tell, Seta.

Nays: None

Motion carries

K. OLD BUSINESS-Consideration and discussion of:

1. Discussion of: Main St. Bridge Project- Phase 2 Funding Update

MDEQ Bridge/dam permit status

WATS Meeting 11-20-07 update-Jim Carson

2. Consideration of: UMRC Development Agreement

Awaiting response from UMRC

L. NEW BUSINESS-Consideration of and Discussion of:

1. Consideration of: Resolution for the purpose of withdrawing a petition from the Washtenaw County Board of Commissioners to annex property into the Village of Dexter, Washtenaw County, Michigan

Motion Tell, support Cousins to approve the resolution to withdraw the petition from the Washtenaw County Board of Commissioners to annex property into the Village of Dexter, Washtenaw County, Michigan.

Ayes: Cousins, Fisher, Keough, Semifero

Nays: Tell, Carson, Seta.

Motion carries

2. Consideration of: Recommendation from Planning Commission to adopt the final site plan for the Schulz re-development project proposed for Jeffords St.

Motion Semifero, support Cousins that based upon the information received from the applicant, reflected in minutes of this meeting, and in conformance with Section 21.04(E)3 of the Village of Dexter Zoning Ordinance, the Village Council finds the Mill Creek Building combined site plan dated 10-24-07 meets the requirements to recommend the combined site plan. In making this determination, the following additional conditions shall apply:

1. Concerns noted in the planner's review dated October 31, 2007.
2. Concerns noted in the engineer's review dated November 1, 2007.
3. Concerns noted in the DAFD review dated September 24, 2007.

4. Execution of the development agreement by the applicant, the Village and the DDA.
5. Review and approval of the public improvements to be built and designed by the DDA.
6. Sale of the required Village property to the developer.

Ayes: Cousins, Fisher, Keough, Semifero, Tell, Carson, Seta.

Nays: none

Motion carries

3. Consideration of: 2007/08 budget amendments

Motion Tell, support Keough to approve the 2007/08 budget amendments as presented.

Ayes: Semifero, Tell, Fisher, Carson, Cousins, Keough, Seta.

Nays: none

Motion carries

4. Discussion of: Recommendation to adopt the Town Hall Meeting Guideline.

5. Consideration of: Recommendation to accept the proposal for consulting services to assist in the progression of the city process.

Motion Semifero, support Carson to approve the proposal from David Rutledge for consulting services to assist in the progression of the city process at an amount not to exceed \$3,000.00.

Ayes: Tell, Carson, Cousins, Keough, Fisher, Semifero, Seta.

Nays: none

Motion carries

M. COUNCIL COMMENTS

Keough	transportation improvement plan per semcog
Carson	no
Fisher	no
Boyle	no
Tell	thanks to Mr. Seta
Semifero	planning commission rep to provide a report to Council?
Cousins	Chamber Mixer was good
Seta	Family, Friendship and future Thanks to everyone, Council, and staff

N. NON-ARRANGED PARTICIPATION

Fred Model of 7615 Grand

Thanks to Council

O. ADJOURNMENT

Motion Fisher support Keough to adjourn at 9:32  
Unanimous voice vote

Respectfully submitted,

David F. Boyle  
Clerk, Village of Dexter

Approved for Filing: \_\_\_\_\_



State of Michigan  
Department of Environmental Quality

AGENDA 12-10-07  
ITEM D-1

Land and Water Management Division  
P.O. Box 30458  
Lansing, Michigan 48909-7958  
517-335-3183

File No. 07-81-0070-P

Date: November 27, 2007

## PUBLIC NOTICE

Washtenaw County Road Commission, 555 N. Zeeb Road, Ann Arbor, Michigan 48106, has applied to this office for a permit under the authority of Part 301, Inland Lakes and Streams, of the Natural Resource and Environmental Protection Act, 1994 PA 451, as amended. The applicant proposes to:

a) remove the existing 75-foot single span by 8.9-foot rise by 52-footwide steel beam Main Street bridge over Mill Creek and replace it with a 101-foot single span by 8.5-foot rise by 62-foot wide concrete I-beam bridge.

b) remove the existing 70-foot wide by 8-foot high concrete grouted rock dam and restore the free-flowing conditions of Mill Creek. The impoundment will be lowered 2 inches per day over a 6-week period for a total permanent drawdown of approximately 7 feet. The dam removal includes:

1) the placement of 2 rock grade control structures downstream of the dam and two upstream of the dam. The existing sill and apron will be left in place and covered with riprap to serve as a fifth grade control structure. Approximately 500 cubic yards of rock will be used to construct the 5 grade control structures.

2) the dredging of 750 cubic yards of sediment within a distance of 78 feet upstream of the dam. The purpose of the dredging is to allow the construction of a temporary access road 20 feet upstream of the dam and the construction of a 78-foot long channel with a 44-foot wide bottom width and 1-on-4-side slopes.

3) the placement of three 12-inch stone for the construction of a temporary rock access road. This temporary road will be used by equipment to remove the existing dam and install the upstream grade control structure. The road will also serve as a temporary sediment trap. Part of the access road will be left in place and serve as a permanent grade control structure.

c) in addition to the 750 cubic yards of sediment to be excavated, it is estimated that an additional 4,700 cubic yards of sediment will be mobilized due to head cutting up to 1,330 feet upstream of the dam. This sediment will be excavated from the sediment traps. Based on testing, it is assumed that all the excavated sediment (5,450 cubic yards) has slightly elevated levels of cadmium. The excavated sediment will be placed in a 0.88-acre fill site along the west side of Mill Creek. This site is currently wetland and shallow open water but will be 2.5 feet to 3.5 feet above the expected ordinary high water mark of the restored channel when the impoundment is lowered. Once completed, the fill site will be covered with orange plastic fencing and covered with 12 inches of clean soil

The project is located in T2S, R5E, Section 6, Scio Township, Washtenaw County, Michigan, in accordance with plans attached to this notice.

### THIS NOTICE IS NOT A PERMIT

The proposed project may also be regulated by one or more additional parts of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, that are administered by the Land and Water Management Division (LWMD). The requirements of applicable parts are considered in determining if it is in the public interest to issue a permit.

When a permit application is received requesting authorization to work in or over the inland waters of the State of Michigan, pursuant to PART 301, INLAND LAKES AND STREAMS, OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT, 1994 PA 451, AS AMENDED, the Act provides that the department submit copies for review to the department of public health, the city, village or township, and the county where the project is to be located, the local soil conservation district, any local watershed council organized under Part 311, and the local port commission. Additional notification is provided to certain persons as required by statute or determined by the department.

Those persons wanting to make comments on the proposed project shall furnish this office with their written comments no later than 20 days from the date of this notice. Written comments will be made part of the record and should reference the above file number. Objections must be factual, specific, and fully describe the reasons upon which any objection is founded. Unless a written request is filed with the department within the 20-day public comment period, the department may make a decision on the application without a public hearing. The determination as to whether a permit will be issued or a public hearing held will be based on evaluation of all relevant factors defined in Sections 30106 and 30311, or permit criteria defined by other appropriate Parts of the NREPA. These Sections address the effect of the proposed work on the public trust or interest including navigation, fish, wildlife, and water quality among other criteria. Public comments received will also be considered.

12-18-07

cc: Washtenaw County Clerk	Washtenaw County Health Department
Washtenaw County Drain Commission	Washtenaw Soil Conservation District
Scio Township Clerk	Donna Dettling, Village of Dexter, Manager
Huron River Watershed Council	Sue Elston, USEPA
Barb Hosler, USFWS	Eric Jones, USACE
John Halsey, DHAL, Archeology	Jeff Braunscheidel, DNR, Fisheries Division
Sharon Hanshue, DNR, Fisheries Division	Dave Dominic, DNR, Wildlife Division
Lori Sargent, DNR, Natural Heritage	Matt Fry, DNR, Natural Rivers
Mitch Adelman, DEQ, RRD	Patrick Brennan, DEQ, WHMD
Dan Rockafellow, DEQ, Water Bureau	Debora Snell, DEQ, Water Bureau
James Sallee, DEQ, LWMD	Alex Sanchez, DEQ, Transportation-ENV
Minmin Shu, DEQ, Transportation-HYD	Paul Wessel, DEQ, LWMD
Colleen O'Keefe, DEQ, LWMD	American Legion Club
Ray Kroske	Village of Dexter
Shreeji Vinayak Corporation	Dexter Downtown Development Authority
Tupper Properties, LLC	Detroit Edison Company
Michael Tarazi, URS Corporation	Michael Donahue, URS Corporation
Washtenaw County Road Commission, applicant	

AGENCY USE	Previous USACE Permit or File Number	Date Received	Land and Water Management Division, MDEQ File Number <b>07-81-0070-P</b>	AGENCY USE
	USACE File Number		Marina Operating Permit Number	
			Fee received \$	

- Complete all items in Sections 1 through 9 and those items in Sections 10 through 21 that apply to the project. Clear drawings and cross sections must be provided.

# 1 PROJECT LOCATION INFORMATION

- Refer to your property's legal description for the Township, Range, and Section information, and your property tax bill for your Property Tax Identification Number(s).

Address Main Street Bridge Over Mill Creek		Township Name(s) Scio Township	Township(s) T4S R5E	Range(s) R5E	Section(s) 6
City/Village Village of Dexter	County(ies) Washtenaw	Property Tax Identification Number(s) See Attachment			
Name of Waterbody Mill Creek	Project Name or Job Number 12940224	Subdivision/Plat See Attachment	Lot Number	Private Claim	
Project types (check all that apply) <input type="checkbox"/> private <input type="checkbox"/> building addition <input type="checkbox"/> other (explain)		<input checked="" type="checkbox"/> public/government <input type="checkbox"/> new building or structure <input type="checkbox"/> industrial <input type="checkbox"/> building renovation or restoration <input type="checkbox"/> commercial <input checked="" type="checkbox"/> river restoration <input type="checkbox"/> multi-family <input type="checkbox"/> single-family			
The proposed project is on, within, or involves (check all that apply)					
<input checked="" type="checkbox"/> a stream <input type="checkbox"/> a river <input type="checkbox"/> a ditch or drain <input checked="" type="checkbox"/> a floodway area <input checked="" type="checkbox"/> a pond (less than 5 acres) <input type="checkbox"/> a channel/canal <input type="checkbox"/> an inland lake (5 acres or more) <input checked="" type="checkbox"/> a 100-year floodplain					
<input type="checkbox"/> a legally established County Drain (date established _____) <input type="checkbox"/> a Great Lake or Section 10 Waters <input type="checkbox"/> a designated high risk erosion area <input type="checkbox"/> a designated critical dune area <input type="checkbox"/> a designated environmental area <input type="checkbox"/> a natural river <input checked="" type="checkbox"/> a dam <input type="checkbox"/> a wetland <input type="checkbox"/> 500 feet of an existing waterbody <input type="checkbox"/> a new marina <input checked="" type="checkbox"/> a structure removal <input type="checkbox"/> a utility crossing					

# 2 DESCRIBE PROPOSED PROJECT AND ASSOCIATED ACTIVITIES, AND THE CONSTRUCTION SEQUENCE AND METHODS

- Attach separate sheets, as needed, including necessary drawings, sketches, photographs, aerials, or plans.

The primary purpose of this project is to remove and replace the existing Main Street Bridge over Mill Creek and to remove (without replacement) the adjacent dam on the Mill Creek. The bridge is structurally deficient and must be replaced to accommodate traffic. Removal of the dam is planned to restore Mill Creek to a free flowing condition, improve aquatic habitat, fish passage, and improve canoe/kayak access. See attachment.

# 3 APPLICANT, AGENT/CONTRACTOR, AND PROPERTY OWNER INFORMATION

- The applicant can be either the property owner or the person or company that proposes to undertake the activity.
- If the applicant is a corporation, both the corporation and its owner must provide a written document authorizing the agent/contractor to act on their behalf.

Applicant (individual or corporate name) Andrew Hodges, P.E.	Agent/Contractor (firm name and contact person) URS, Corporation, Mike Tarazi, P.E.
Mailing Address Washtenaw County Road Comm. 555 N. Zeeb Road	Address 3950 Sparks Drive SE
City Ann Arbor	City Grand Rapids
State MI	State MI
Zip Code 48106	Zip Code 49546
Daytime Phone Number with Area Code (734) 327-6671	Daytime Phone Number with Area Code (616) 574-8381
Cell Phone Number	Cell Phone Number (616) 291-4936
Fax (734) 761-3239	Fax (616) 222-4969
E-mail hodgesa@wecroads.org	E-mail mike_tarazi@urscorp.com
Is the applicant the sole owner of all property on which this project is to be constructed and all property involved or impacted by this project? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	
If No, provide a letter signed by the property owner authorizing the agent/contractor to act on his or her behalf or a copy of easements or right-of-ways. If multiple owners, attach all property owners' names, mailing addresses, and telephone numbers. Disclose any DEQ conservation easements or other easements, deed restrictions, leases, or any other encumbrance upon the property in the project area. A copy of the land restriction must be provided.	
Property Owner's Name (if different from applicant) Donna Dettling, Dexter Village Manager	Mailing Address 8140 Main Street
Daytime Phone Number with Area Code (734) 426-8303	City Dexter
Cell Phone Number	State MI
	Zip Code 48130

OCT 04 2007

TRANSPORTATION REVIEW

# 4 PROPOSED PROJECT PURPOSE, INTENDED USE, AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)

- The purpose must include any new development or expansion of an existing land use.
- Include a description of alternatives considered to avoid or minimize resource impacts. Include factors such as, but not limited to, alternative construction technologies; alternative project layout and design; alternative locations; local land use regulations and infrastructure; and pertinent environmental and resource issues.
- For utility crossings, include both alternative routes and alternative construction methods.

Replace 75' Long x 52' Wide single span steel structure with 101'x62' single span concrete structure. Install rock structures upstream and downstream of the existing dam and remove dam in stages. Sediments located close to the dam will be excavated directly and stored adjacent to the site with an earthen fill cap. Sediment from upstream of the work area will be collected from temporary sediment trap and also stored in the adjacent fill area. See Attached.

**5 LOCATING YOUR PROJECT SITE**

- Provide the requested information listed below to help staff locate your project site.
- Attach a copy of a map, such as a plat, county, or USGS topographic map, clearly showing the site location and include an arrow indicating the north direction.
- Project area must be staked at the time of application submittal.

Is there an access road to the project? ☐ No ☒ Yes (If Yes, type of road, check all that apply) ☐ private ☐ public ☐ improved ☐ unimproved

Name of roads at closest main intersection Main Street and Dexter-Chelsea Road

Directions from main intersection From I-94 take Baker Road Exit. North approximately 3 miles to dead end at Main Street. Left on Main Street. Bridge over Mill Creek is approximately one quarter mile down on the western Village of Dexter corporate limit.

Style of house or other building on site ☐ ranch ☐ 2-story ☐ cape cod ☐ bi-level ☐ cottage/cabin ☐ pole barn ☒ none ☐ other (describe) \_\_\_\_\_

Color \_\_\_\_\_ Color of adjacent property house and/or buildings \_\_\_\_\_

House number \_\_\_\_\_ Address is visible on ☐ house ☐ garage ☐ mailbox ☐ sign ☐ other \_\_\_\_\_

Street name \_\_\_\_\_ Fire lane number \_\_\_\_\_ Lot number \_\_\_\_\_

How can your site be identified if there is no visible address? The site is the bridge over Mill Creek and the dam just south of the bridge

Provide directions to the project site, with distances from the best and nearest visible landmark and waterbody \_\_\_\_\_

Does project cross boundaries of two or more political jurisdictions? (City/Township, Township/Township, County/County, etc.)

☐ No ☐ Yes (If Yes, list jurisdiction names.) Village of Dexter/Scio Township
**6 List all other federal, interstate, state, or local agency authorizations required for the proposed activity, including all approvals or denials received.**

Agency	Type approval	Identification number	Date applied	Date approved / denied	If denied, reason for denial
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Not Applicable

**7** If a permit is issued, date activity will commence (M/D/Y) 03/01/2008

Proposed completion date (M/D/Y) 12/31/2008

Has any construction activity commenced or been completed in a regulated area? ☒ No ☐ Yes

If Yes, identify the portion(s) underway or completed on drawings or

attach project specifications and give completion date(s) (M/D/Y)

Were the regulated activities conducted under a MDEQ permit? ☐ No ☐ Yes

If Yes, list the MDEQ permit number

Are you aware of any unresolved violations of environmental law or litigation involving the property? ☒ No ☐ Yes (If Yes, explain)

**8 PUBLIC NOTIFICATION (Attach additional sheets if necessary)**

- Complete information for all adjacent and impacted property owners and the lake association or established lake board, including the contact person's name.
- If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.

Property Owner's Name	Mailing Address	City	State	Zip Code
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See attached Washtenaw County Parcel Summary

**RECEIVED**
**OCT 04 2007**

Name of ☐ Established Lake Board ☐ or Lake Association and the Contact Person's name, phone number, and mailing address Not Applicable
**TRANSPORTATION REVIEW UNIT**
**9 APPLICANT'S CERTIFICATION**
**READ CAREFULLY BEFORE SIGNING**

I am applying for a permit(s) to authorize the activities described herein. I certify that I am familiar with the information contained in this application, that it is true and accurate, and, to the best of my knowledge, is in compliance with the State *Coastal Zone Management Program* and the *National Flood Insurance Program*. I understand that there are penalties for submitting false information and that any permit issued pursuant to this application may be revoked if information on this application is untrue. I certify that I have the authority to undertake the activities proposed in this application. By signing this application, I agree to allow representatives of the MDEQ, USACE, and/or their agents or contractors to enter upon said property in order to inspect the proposed activity site and the completed project. I understand that I must obtain all other necessary local, county, state, or federal permits and that the granting of other permits by local, county, state, or federal agencies does not release me from the requirements of obtaining the permit requested herein before commencing the activity. I understand that the payment of the application fee does not guarantee the issuance of a permit.

- All applicants must complete all of the items in Sections 1 through 9 on pages 1 and 2 of this application.
- Complete those items in Sections 10 through 21 that apply to the project. Submit only those pages where you have provided information.
- Your application will not be processed if the application form is not completely filled out.
- List here the application page numbers being submitted and a brief description of other attachments included with your application.
- Submit 8.5" by 11," 8.5" by 14" or 11" by 17" size drawings with 4 copies. The USACE requires one set of drawings on 8.5" x 11" paper, with all notations clearly legible. Larger copies may be submitted in addition to the standard size copies.
- A letter of authorization from the owner must be included if not signed below by the owner.

☒ Property Owner  
☐ Agent/Contractor  
☐ Corporation - Title \_\_\_\_\_

Andrew Hodges

Printed Name

Signature

10/3/07  
Date



**10 PROJECTS IMPACTING WETLANDS OR FLOODPLAINS OR LOCATED ON AN INLAND LAKE OR STREAM OR A GREAT LAKE**

- Check boxes A through N that may be applicable to your project and provide the requested information.
- If your project may affect wetlands, also complete Section 12. If your project may impact regulated floodplains, also complete Section 13.
- Provide an overall site plan showing existing lakes, streams, wetlands, and other water features; existing structures; and the location of all proposed structures, land change activities and soil erosion and sedimentation control measures. Review sample drawings for guidance in completing site-specific drawings for your project.
- Some projects on the Great Lakes require an application for conveyance prior to Joint Permit Application completeness.
- On a Great Lake use IGLD 85 ☐ surveyed ☐ converted from observed still water elevation. On inland waters, ☐ NGVD 29 ☐ local datum ☒ other NVGD88  
Observed water elevation (ft) , date of observation (M/D/Y) 834.30 on 9-12-06

**A. PROJECTS REQUIRING FILL (See All Sample Drawings)**

- To calculate volume in cubic yards (cu yd), multiply the average length in feet (ft) times the average width (ft) times the average depth (ft) and divide by 27.
- Attach both plan and cross-section views to scale showing maximum and average fill dimensions.

(Check all that apply) ☐ floodplain fill ☐ wetland fill ☒ riprap ☐ seawall, bulkhead, or revetment ☒ bridge or culvert  
☐ boat launch ☐ off-shore swim area ☐ beach sanding ☐ boatwell ☐ crib dock ☒ other dam removal

Fill dimensions (ft)  
length see plan width see plan maximum depth see plan Total fill volume (cu yd) see plan Maximum water depth in fill area (ft) 0

Type of clean fill ☐ pea stone ☐ sand ☐ gravel ☐ wood chips ☒ other see attached Will filter fabric be used under proposed fill? ☒ No ☐ Yes (If Yes, type)

Source of clean fill ☐ on-site, If on-site, show location on site plan ☐ commercial ☒ other, If other, attach description of location See attached

Fill will extend 0 feet into the water from the shoreline and upland 5 High feet out of the water. Fill volume below OHWM (cu yd) 0

**B. PROJECTS REQUIRING DREDGING OR EXCAVATION (For dredging projects see Sample Drawing 7, for excavation see other applicable Sample Drawings)**

- To calculate volume in cubic yards (cu yd), multiply the average length in feet (ft) times the average width (ft) times the average depth (ft) and divide by 27.
- Attach both plan and cross-section views to scale showing maximum and average dredge or excavation dimensions.
- The applicant will be notified if sediment sampling is required.

(Check all that apply) ☒ floodplain excavation ☐ wetland dredge or draining ☐ seawall, bulkhead, or revetment  
☐ navigation ☐ boat well ☐ boat launch ☒ other rock structures and dam removal

Total dredge/excavation volume (cy) Dimensions Dredge/excavation volume Method and equipment for dredging  
5450 Max. length 600 width 75 depth 3.25 below OHWM (cu yd) 5450 Hydraulic Excavator

Has proposed dredge material been tested for contaminants? ☐ No ☒ Yes (If Yes, attach testing results) Will dredged or excavated spoils be placed ☒ on-site ☐ off-site. Attach a detailed disposal area site plan, location map. If dispose off site, provide address and letter of authorization.

Has this same area been previously dredged? ☒ No ☐ Yes (If Yes, provide date and permit number, if available)

If Yes, are you proposing to enlarge the previously dredged area ☐ No ☐ Yes

Is long-term maintenance dredging planned? ☒ No ☐ Yes (If Yes, when and how much?)

**C. PROJECTS REQUIRING RIPRAP (See Sample Drawings 2, 3, 8, 12, 14, 17, 22, and 23. Others may apply)**

Riprap waterward of the ☒ shoreline OR ☐ ordinary high water mark Dimensions (ft) length variable width (see dwgs) depth Volume (cu yd) 240

Riprap landward of the ☐ shoreline OR ☐ ordinary high water mark Dimensions (ft) length variable width see drawing depth see drawing Volume (cu yd)

Type of riprap ☒ field stone ☒ angular rock ☒ other Removed Conc. Will filter fabric be used under proposed riprap? ☐ No ☒ Yes (If Yes, type) Geotech Blanket per MDOT Specifications

**D. SHORE PROTECTION PROJECTS (See Sample Drawings 2, 3, and 17)**

(check all that apply) ☐ riprap - length (ft) ☐ seawall/bulkhead - length (ft) ☐ revetment - length (ft) Distances of project from both property lines (ft)

**E. DOCK - PIER - MOORING PILINGS (See Sample Drawing 10)**

Type ☐ open pile ☐ filled ☐ crib Seasonal structure? ☐ No ☐ Yes

Proposed structure dimensions (ft) length width Dimensions of nearest adjacent structures (ft) length width

**F. BOAT WELL (No Sample Drawing available)**

Type of bank stabilization ☐ wood ☐ steel ☐ concrete ☐ vinyl ☐ riprap ☐ other OCT 04 2007

Boat well dimensions (ft) length width depth Number of boats

Volume of backfill behind sidewall stabilization (cu yd) Distances of boat well from adjacent property lines (ft)

**G. BOAT LAUNCH (No Sample Drawing available) (check all that apply) ☐ new ☐ existing ☐ public ☐ private ☐ commercial ☐ replacement**

Proposed overall boat launch dimensions (ft) length width depth Type of material ☐ concrete ☐ wood ☐ stone ☐ other

Existing overall boat launch dimensions (ft) length width depth Boat launch dimensions (ft) below ordinary high water mark length width depth

Distances of launch from both property lines (ft) Number of skid piers Skid pier dimensions (ft) width length

**H. BOAT HOIST (No Sample Drawing available)**

(Check all that apply) ☐ seasonal ☐ permanent ☐ cradle ☐ side lifter ☐ other located on ☐ seawall ☐ dock ☐ bottomlands

**I. BOARDWALKS AND DECKS IN ☐ WETLANDS • OR • ☐ FLOODPLAINS (See Sample Drawings 5 and 6. Provide table if necessary)**

(Check all that apply) ☐ boardwalk ☐ deck Boardwalk or deck is on ☐ fill ☐ piling Dimensions (ft) length width

**10 Continued - PROJECTS IMPACTING WETLANDS OR FLOODPLAINS OR LOCATED ON AN INLAND LAKE OR STREAM OR A GREAT LAKE**☐ **J. INTAKE PIPES** (See Sample Drawing 16) ☐ **OUTLET PIPES** (See Sample Drawing 22)

Type ☐ headwall ☐ end section ☐ pipe ☐ other \_\_\_\_\_

Dimensions of headwall OR end section (ft) length \_\_\_\_\_ width \_\_\_\_\_ depth \_\_\_\_\_

Number of pipes \_\_\_\_\_ Pipe diameters and invert elevations \_\_\_\_\_

If outlet pipe, discharge is to ☐ wetland ☐ inland lake ☐ stream, drain, or river ☐ Great Lake ☐ other \_\_\_\_\_

☐ **K. MOORING AND NAVIGATION BUOYS** (No Sample Drawing available)

- Provide an overall site plan showing the distances between each buoy, distances from the shore to each buoy, and depth of water at each buoy in feet.
- Provide cross-section drawing(s) showing anchoring system(s) and dimensions.

Number of buoys \_\_\_\_\_ Type of anchor system \_\_\_\_\_ Purpose of buoy ☐ mooring ☐ navigation ☐ swimming

Do you own the property along the shoreline? ☐ No ☐ Yes

If No, you must provide an authorization letter from the property owner(s)

Dimensions of buoys (ft) width \_\_\_\_\_ height \_\_\_\_\_

☐ **L. GROINS** (No Sample Drawing available)

- Provide an overall site plan showing the distances (ft) of the outermost *groins* from the property lines, distances between *groins*, length and width of each *groin*, and the distance from the existing toe of the bluff to the lakeward end of the *groins*.
  - If existing *groins* are located on adjacent properties, provide distances (ft) from closest neighboring *groin* to your property lines on the site plan.
- Provide cross-section views showing the length and height of each *groin* and the height of *groin* ends above the observed water level (date and time). If step down type, show the height of each section above the observed water level.

Number of *groins* \_\_\_\_\_ 4 \_\_\_\_\_ Type of *groin* ☐ steel ☐ wood ☒ other ☐ rock \_\_\_\_\_

Will *groin* be placed on a foundation? ☒ No ☐ Yes (If Yes, dimensions of foundation (ft) length \_\_\_\_\_ width \_\_\_\_\_ height \_\_\_\_\_)

☐ **M. FENCES IN WETLANDS, STREAMS, OR FLOODPLAINS** (No Sample Drawing available)

- Provide an overall site plan showing the proposed fencing through wetlands, streams, or *floodplains*.
- Provide drawing of fence profile showing the design, dimension, post spacing, board spacing, and distance from ground to bottom of fence (if in a *floodplain*).

(check all that apply) ☐ wetlands ☐ streams ☐ floodplains

Total length (ft) of fence through wetlands \_\_\_\_\_ streams \_\_\_\_\_ floodplains \_\_\_\_\_ Fence height (ft) \_\_\_\_\_ Fence type and material \_\_\_\_\_

☐ **N. OTHER** - e.g., structure removal, marine railway, low sand trap wall, breakwater, and structural foundations in wetlands or *floodplains* Bridge and portions of dam**11 EXPANSION OF AN EXISTING OR CONSTRUCTION OF A NEW LAKE OR POND** (See Sample Drawings 4 and 15)

Which best describes your proposed waterbody use (check all that apply)

☐ wildlife ☐ stormwater retention basin ☐ stormwater detention basin ☐ recreation ☐ wastewater basin ☐ other \_\_\_\_\_

Water source for lake/pond

☐ groundwater ☐ natural springs ☐ Inland Lake or Stream ☐ stormwater runoff ☐ pump ☐ sewage ☐ other \_\_\_\_\_Location Of the lake/basin/pond ☐ floodplain ☐ wetland ☐ uplandWill project involve construction of a dam, dike, outlet control structure, or spillway? ☐ No ☐ Yes (If Yes, complete Section 17)**12 ACTIVITIES THAT MAY IMPACT WETLANDS** (See Sample Drawings 8 & 9)

- For information on the MDEQ's *Wetland Assessment Program*, visit the LWMD website or call 517-373-1170.

(check all that apply) ☒ fill (Section 10A) ☒ dredge or excavation (Section 10B) ☐ boardwalk or deck (Section 10I) ☒ dewatering

☐ fences (Section 10M) ☐ bridges and culverts (Section 14) ☐ draining surface water ☒ other dam removal

Has a professional wetland delineation been conducted for this parcel? ☒ No ☐ Yes (If Yes, provide a copy; if federal method was used, supply data sheets)

Applicant purchased property ☒ before OR ☐ after October 1, 1980.

Is there a recorded DEQ easement on the property? ☒ No ☐ Yes (If Yes, provide the number \_\_\_\_\_)Has the MDEQ conducted a *wetland assessment* for this parcel? ☒ No ☐ Yes (If Yes, provide a copy)

Describe the wetland impacts, proposed use or development, and efforts to avoid/minimize impacts. Describe the wetland alternatives and provide the type and amount of mitigation proposed if more than 1/3 acre is to be impacted.

Dam removal will affect "artificial" wetland areas adjacent the impoundment when the dam is removed. Additional wetland areas likely will be created in the existing shallow water areas of the impoundment.

Is any grading or mechanized land clearing proposed? ☐ No ☒ Yes (If Yes, show locations on site plan)Has any of the proposed grading or mechanized land clearing been completed? ☒ No ☐ Yes (If Yes, label and show locations on site plan)

- Complete the wetland dredge and wetland fill dimension information for each impacted wetland area.
- Attach additional sheets if necessary and label the impacted wetland areas on a site plan drawn to scale. Attach at least one typical cross-section for each wetland dredge and/or fill area. Also complete Section 10A for fill and Section 10B for dredge or excavation activities.
- If dredge material will be disposed of on site, show the location on site plan in an upland area and include soil erosion and sedimentation control measures.

Wetland dredge dimensions	maximum length (ft)	0	maximum width (ft)	0	dredge area <input checked="" type="checkbox"/> acres <input type="checkbox"/> sq ft	0.00	average depth (ft)	0	dredge volume (cu yd)	0
Wetland fill dimensions	maximum length (ft)	600	maximum width (ft)	50	fill area <input checked="" type="checkbox"/> acres <input type="checkbox"/> sq ft	0.22	average depth (ft)	1.5	fill volume (cu yd)	532
Total wetland dredge area <input checked="" type="checkbox"/> acres <input type="checkbox"/> sq ft					0.00 Acres					
Total wetland fill area <input checked="" type="checkbox"/> acres <input type="checkbox"/> sq ft					0.22 Acres					
Total wetland dredge volume (cu yd)					0.00					
Total wetland fill volume (cu yd)					532					

The proposed project will be serviced by ☐ public sewer ☐ private septic system (If septic system, show existing and new or expanded system on plans)

If septic system, has application been made to the County Health Department for a permit? ☐ No ☐ Yes

If Yes, has permit been issued? ☐ No ☐ Yes (If Yes, provide copy)

**13 FLOODPLAIN ACTIVITIES** (See Sample Drawing 5. Others may apply.)

- Attach additional sheets with the requested information when multiple floodplain activities are included in this application.

(check all that apply) ☐ fill ☒ excavation ☒ other dam removalSite is 4 feet above ☒ ordinary high water mark (OHWM) OR ☐ observed water level 834.3 Date of observation 09/12/2006 (M/D/Y)

Fill volume below the 100-year floodplain elevation (cu yd) Rock Structures Only (200 CYD) See plans

Compensating cut volume below the 100-year floodplain elevation (cu yd) 5450 CYD

**14 BRIDGES AND CULVERTS** (Including Foot and Cart Bridges)

- Provide detailed site-specific drawings of existing and proposed Plan View (Sample Drawing 14A), Elevation View (Sample Drawing 14B), Stream and Floodplain Cross-Section (Sample Drawing 14C), Stream Profile (Sample Drawing 14D) and Floodplain Fill (Sample Drawing 5) at a scale adequate for detailed review.
- Provide the requested information that applies to your project. If there is not an existing structure, leave the "Existing" column blank.
- If you choose to have a Licensed Professional Engineer "certify" that your project will not cause a "harmful interference" for a range of flood discharges up to and including the 100-year flood discharge then you must use the "Required Certification Language". You may request a copy by phone, email, or mail. A hydraulic report supporting this certification may also be required.
- Attach additional sheets with the requested information when multiple crossings are included in this application.

	Existing	Proposed		Existing	Proposed
Culvert type (box, circular, arch) and material (corrugated metal, timber, concrete, etc.)			Bridge span (length perpendicular to stream) OR culvert <input type="checkbox"/> width <input type="checkbox"/> diameter (ft)	75	101
Bridge type (concrete box beam, timber, concrete I-beam, etc.)	Steel BM	con. I-BM	Bridge width (parallel to stream) OR culvert length (ft)	52	62
Entrance design (projecting, mitered, wingwalls, etc.)	W.W	W.W	Bridge rise (from bottom of beam to streambed) OR Culvert rise (from top of culvert to streambed) (ft)	8.92	8.50
Total structure waterway opening above streambed (sq ft)	790	905			
<input type="checkbox"/> elevation of culvert crown	Upstream		Higher elevation of <input type="checkbox"/> culvert invert OR	Upstream	
<input type="checkbox"/> bottom of bridge beam (ft)	Downstream	843.95	<input type="checkbox"/> streambed within culvert (ft)	Downstream	
Elevation of road grade at structure (ft)	848.49	848.49	Distance from low point of road to mid-point of bridge crossing (ft)	320	320
Elevation of low point in road (ft)	845.57	845.57			
Cross-sectional area of primary channel (sq ft) (See Sample Drawing 14C)	200 ft.		Average stream width at OHWM outside the influence of the structure (ft)	upstream	downstream

Reference datum used (show on plans with description) ☐ NGVD 29 ☐ IGLD 85 (Great Lakes coastal areas) ☒ local

High water elevation – describe reference point and highest known water level above or below reference point and date of observation

High water is controlled by existing dam.

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**15 STREAM, RIVER, OR DRAIN CONSTRUCTION ACTIVITIES** (No sample drawing available)

- Complete Section 10A for fill, Section 10B for dredge or excavation, and Section 10C for riprap activities.
- If side casting or other proposed activities will impact wetlands or floodplains, complete Sections 12 and 13, respectively.
- Provide an overall site plan showing existing lakes, streams, wetlands, and other water features; existing structures; and the location of all proposed structures and land change activities. Provide cross-section (elevation) drawings necessary to clearly show existing and proposed conditions. Be sure to indicate drawing scales.
- For activities on legally established county drains, provide original design and proposed dimensions and elevations.

(check all that apply) ☐ maintenance ☒ improvement ☐ relocation ☐ enclosure ☐ new drain ☐ wetlands ☐ other

Dimensions (ft) of existing stream/drain channel to be worked on. length variable. width variable. depth variable, see plans

Dimensions (ft) of new, relocated, or enclosed stream/drain channel. length 580 width 75 depth 2-5 Volume of 5450 Dredge/excavation (cu yds)

Existing channel average water depth in a normal year (ft)

Proposed side slopes (vertical / horizontal) 1 on 2

How will slopes and bottom be stabilized?

Clean rubble from dam and from T. Access Road

Will old/enclosed stream channel be backfilled to top of bank grade? ☒ No ☐ Yes

Length of channel to be abandoned (ft)

Volume of fill (cu yds) N/A

If an enclosed structure is proposed, check type ☐ concrete ☐ corrugated metal ☐ plastic ☐ other

Dimensions of the structure size length volume of fill

Will spoils be disposed of on site? ☐ No ☒ Yes (If Yes, show location of spoils on site plan in an upland area.) see plansReference datum used (show on plans with description) ☐ NGVD 29 ☐ IGLD 85 (Great Lakes coastal areas) ☐ local NGVD 88

**16 DRAWDOWN OF AN IMPOUNDMENT**

- If wetlands will be impacted, also complete Section 12.

Type of drawdown <input type="checkbox"/> over winter <input type="checkbox"/> temporary <input type="checkbox"/> one-time event <input type="checkbox"/> annual event <input checked="" type="checkbox"/> permanent (dam removal) <input type="checkbox"/> other _____		
Reason for drawdown Restoration of Natural Stream		
Has there been a previous drawdown? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (If Yes, provide date (M/Y))		Previous MDEQ permit number, if known
Does waterbody have established legal lake level? <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Sure		Dam ID Number, if known
Extent of vertical drawdown (ft)	Impoundment design head (ft) 8	Number of adjacent or impacted property owners 8
Date drawdown would start (M/D/Y) 06/16/2008	Date drawdown would stop (M/D/Y) 07/31/2008	Rate of drawdown (ft/day) 2 inches per day for 6 weeks
Date refilling would start (M/D/Y)	Date refill would end (M/D/Y)	Rate of refill (ft/day)
Type of outlet discharge structure to be used <input type="checkbox"/> surface <input type="checkbox"/> bottom <input type="checkbox"/> mid-depth	Impoundment area at normal water level (acres)	Sediment depth behind impoundment discharge structure (ft) 1-5 feet

**17 DAM, EMBANKMENT, DIKE, SPILLWAY, OR CONTROL STRUCTURE ACTIVITIES (See Sample Drawing 15)**

- If wetlands will be impacted, also complete Section 12.
- Attach site-specific conceptual plans for construction of a new dam, reconstruction of a failed dam, or enlargement of an existing dam for resource impact review. Detailed engineering plans are required once the activity has been determined to be permissible from an environmental standpoint.
- Attach detailed engineering plans for a dam repair, dam alteration, dam abandonment, or dam removal.

Which one best describes your project? <input type="checkbox"/> new dam construction <input type="checkbox"/> reconstruction of a failed dam <input type="checkbox"/> enlargement of an existing dam <input checked="" type="checkbox"/> dam removal <input type="checkbox"/> other _____	
Dam ID Number If known	Type of outlet discharge structure <input checked="" type="checkbox"/> surface <input type="checkbox"/> bottom <input type="checkbox"/> mid depth
Riprap Volume (cu yd) 240 CYD	Dredging/excavation Volume (cu yd) 5450
Benchmark elevation (ft) Datum used <input type="checkbox"/> Local <input type="checkbox"/> NGVD 29 <input type="checkbox"/> other NGVD 88	Will proposed activities require a drawdown of the waterbody to complete the work? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (If Yes, also complete Section 16)
Have you engaged the services of a Licensed Professional Engineer? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (If Yes, name, registration number, and mailing address)	Fill volume (cu yd) 5450
Describe benchmark and show on plans	
Mike Tarazi, 24434 MI, see #3	
Will a water diversion during construction be required? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (If Yes, describe how the stream flow will be controlled through the dam construction area during the proposed project activities)	

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- The following additional information is required for a new dam, reconstruction of a failed dam, or enlargement of an existing dam. **OCT 04 2007**

Describe the type of dam and how you will design the dam and embankment to control seepage through and underneath the dam.

**TRANSPORTATION REVIEW UNIT**

Embankment top elevation (ft)	Streambed elevation at downstream embankment toe (ft)	Structural height (difference between embankment top elevation and streambed elevation at downstream embankment toe) (ft)
Embankment length (ft)	Embankment top width (ft)	Embankment bottom width (ft)
Proposed normal pool elevation (ft)	Impoundment flood elevation (ft)	Embankment slopes (vertical / horizontal) Upstream _____ Downstream _____
Have soil borings been taken at dam location? <input type="checkbox"/> No <input type="checkbox"/> Yes (If Yes, submit results with permit application)		Maximum vertical drawdown capability (ft) (attach operational procedure of the proposed structure if available)
Will a cold water underspill be provided? <input type="checkbox"/> No <input type="checkbox"/> Yes (If Yes, invert elevation (ft) _____)		Do you have flowage rights to all proposed flooded property at the design flood elevation? <input type="checkbox"/> No <input type="checkbox"/> Yes

**18 UTILITY CROSSINGS (See Sample Drawings 12 and 13)**

- If side casting is required, complete Subsections 10A and 10B. If spoils will be placed in wetlands or wetlands may be impacted, complete Section 12.
- Attach additional sheets with the requested information as needed for multiple crossings.

What method will be used to construct the crossings? <input type="checkbox"/> flume <input type="checkbox"/> plow <input type="checkbox"/> open trench <input type="checkbox"/> jack and bore <input type="checkbox"/> directional drilling				Crossing of <input type="checkbox"/> Inland Lake or Stream <input type="checkbox"/> floodplain <input type="checkbox"/> International waters <input type="checkbox"/> wetlands (also complete Section 12)		
Type	Number of wetland crossings	Number of inland lake or stream crossings	Pipe diameter (in.)	Pipe length per crossing (ft.)	Distance below streambed or wetland (in.)	Trench width (ft.)
<input type="checkbox"/> sanitary sewer						
<input type="checkbox"/> storm sewer						
<input type="checkbox"/> watermain						
<input type="checkbox"/> cable			(9) 12"	80'	12'	
<input type="checkbox"/> oil/gas pipeline			4"	80'	10'	



Mr. Gerald Fulcher, PE  
November 14, 2007  
Page 5 of 8

14. Under Part 315 R 281.1304, Rule 4(1), the applicant must provide an assessment of the project as stated below:

*Rule 4. (1) in each application for a permit as required pursuant to the provisions of R 281.1302, (5) and (7), an assessment of all known existing and potential adverse effects within the scope of the project shall be provided by the applicant and reviewed by the department to determine whether the project will have a significant adverse effect on public health, safety, welfare, property, or natural resources or the public trust in those resources. This assessment shall include evaluations of both positive and negative impacts of the project commensurate with the scope of the project and mitigating measures to minimize impacts on all of the following:*

- (a) Wetlands.*
- (b) Fisheries.*
- (c) Wildlife.*
- (d) Threatened and endangered species.*
- (e) Water Quality.*
- (f) Streamflows.*
- (g) Sediment transport.*
- (h) Turbidity.*
- (i) Water chemistry.*
- (j) Water temperature.*
- (k) Riparian rights.*

*The assessment shall include impacts of the impoundment on the stream below the impoundment and shall address impacts both during construction and after completion of the project. Please provide a summary assessment of the project based*

Mr. Gerald Fulcher, PE  
November 14, 2007  
Page 6 of 8

*on the above factors. This should include a comparison of the loss of wetlands versus the improvement to the natural stream flow, as well as the expected impacts dealing with the cadmium issue in the sediment.*

The removal of the Mill Creek dam in Dexter, Michigan will have no significant, long term adverse impacts on public health, safety, welfare, property or natural resources. Some short term, minor adverse impacts can be expected during the actual removal, but the long term beneficial impacts far outweigh the short term impacts, as noted below:

- (a) Wetlands – Wetlands present in the project area are primarily due to the existence of impounded sediment associated with the Mill Creek dam. Wetlands have formed within the impoundment (i.e., island) and along its fringe. As noted above, an analysis of aerial photography indicated that there are 13.4 acres of wetland in the impoundment within 2500 feet upstream of the dam. Following drawdown, the remaining wetland acreage is conservatively estimated to be 4 acres. It is also estimated that an additional 10 acres of new wetlands will emerge in the shallow areas of the impoundment once the drawdown takes place. In sum, no adverse effects to wetlands are anticipated, as the total acreage of wetland is expected to increase slightly.
- (b) Fisheries – Upstream and downstream biological monitoring of Mill Creek has been completed by Prof. Daniel Hayes) of Michigan State University. The initial monitoring results show a greater density and diversity of aquatic organisms downstream of the dam. The existing fish community upstream of the dam is more consistent with pond or lake dwelling species (centrarchids). The removal of the dam and installation of proposed rock structures will allow fish to move upstream from the Huron River and lower Mill Creek watershed. The existing substrate downstream of the dam is coarse gravel and cobbles, and supports a healthy macroinvertebrate population. The proposed design includes the installation of in-stream rock grade control structures which will raise the channel invert through several steps. These structures will minimize sediment mobilization and long term impacts. It is believed that the removal of the dam will uncover significant woody debris which will provide the dominant habitat cover. Dam removal and associated stream restoration activity will entail temporary disruption of fisheries habitat and presence in the construction area, but will result in a significantly improved fishery.
- (c) Wildlife – Construction activity may result in a temporary disruption in the habitat and presence of wildlife in the construction area. However, there will be no long term impacts, and the project will result in significant, long term benefits.
- (d) Threatened and Endangered Species - There are no known threatened or endangered species in the vicinity of the project.

Mr. Gerald Fulcher, PE

November 14, 2007

Page 7 of 8

- (e) Water Quality – Short term, minor, adverse impacts to water quality will occur during the phased breach and dewatering, with slight increases in turbidity expected as the water level is incrementally lowered. Overall long term, beneficial impacts are expected, particularly with regard to temperature and dissolved oxygen.
- (f) Streamflows- Temporary minor increases in flow will be realized during the phased breaching. The project will result in a return to a more “natural” streamflow condition. It is anticipated that some loss in flood water storage capacity may be realized after the dam is removed, but it is not anticipated to have adverse impacts.
- (g) Sediment Transport – The removal of the Mill Creek dam will restore natural streamflow and sediment transport, eliminating sedimentation issues in the impoundment as well as scour problems downstream. This will also improve habitat conditions for fish. No adverse impacts are anticipated.
- (h) Turbidity – Modest increases in turbidity are anticipated during the drawdown as the dam is being breached. These impacts will be short- term and minimal, given the nature of the controlled, phased dam breach. During that period, turbidity levels will likely approximate those experienced during typically storm events and associated increased flow.
- (i) Water Chemistry – The removal of the dam is not anticipated to have adverse impacts on water chemistry.

Sediment sampling and analysis indicated modest elevations in cadmium in selected locations. Cadmium binds to sediment particles and is not soluble. Leachate tests confirmed that cadmium levels were not detectable. The phased breaching of the dam, coupled with the use of a sediment trap as opposed to extensive upstream dredging, will significantly limit sediment disruption and mobilization. Consequently, no appreciable adverse impacts are anticipated.

- (j) Water Temperature- Following dam removal, an improvement (lowering) of water temperatures is expected during the summer months. Overall water depths and velocities should increase as well. The wide, shallow areas presently found in the impounded area will be replaced with narrower and deeper channel conditions less prone to thermal increases during the summer months.
- (k) Riparian Rights – There will be no impact to riparian rights.



Mr. Gerald Fulcher, PE  
November 14, 2007  
Page 8 of 8

In sum, the project will result in net benefits to public health, safety and welfare, and natural resources. The removal of the dam and associated stream restoration will improve fish and wildlife habitat (and fish passage), water quality, natural stream flow, and recreational opportunities (e.g., aesthetics, anticipated kayak access during normal flow conditions, potential for parkland and trail development.)

We trust that this response and attachments provides the information requested. We appreciate you prompt attention to this project.

Please contact me if you need any additional information or clarification or to discuss any aspect of the project.

Sincerely,

URS Corporation

A handwritten signature in black ink that reads "Michel Tarazi".

Michel Tarazi, PE  
616.574.8500

cc: Alex Sanchez, MDEQ, Land and Water Management  
Michael Donahue, PhD, URS Corporation  
Andrew Hodges, PE, Washtenaw County Road Commission  
Donna Dettling, Village of Dexter



**JOINT PERMIT APPLICATION  
MILL CREEK DAM REMOVAL**

**SCIO TOWNSHIP & VILLAGE OF DEXTER  
WASHTENAW COUNTY, MICHIGAN**

**SUPPLEMENTAL NARRATIVES**

**RECEIVED**

OCT 04 2007

TRANSPORTATION REVIEW UNIT

**2. PROJECT DESCRIPTION** (supplement to JPA section 2, page 1)

The proposed project is the removal of the low head dam across Mill Creek and the removal and replacement of the Main Street Bridge over Mill Creek in the Village of Dexter and Scio Township. The dam is approximately 70 feet wide and approximately 8 feet high. The dam is located immediately upstream of the Main Street bridge. The dam and bridge replacement are scheduled for 2008 Construction.

The dam was originally constructed in 1824 and consisted of a rock filled timber crib. The dam was reportedly rebuilt in 1910 and 1932. Michigan State Highway plans dated 1931 for the Main Street Bridge show the dam to be concrete grouted rock which is the current condition. The spillway is approximately 2 feet wide along the crest and has a concave shape where it is ties into a grouted apron under the Main Street bridge. The base of the dam at the bottom is approximately 10 feet thick. Metal sheet pile was driven along the entire upstream face of the dam and is capped with 8" x 8" x ½ "angle iron.

The grouted rip rap apron immediately downstream of the dam extends 62 feet downstream under the bridge. The apron itself is a barrier to fish passage and will not be removed as part of the bridge replacement project. This apron will provide grade control for the completed dam removal project. The proposed design will address fish passage over the apron by installing a rock structure downstream of the dam to increase water depth over the grouted apron.

An MDEQ flood map modernization study was recently completed for Mill Creek. This study included the completion of twenty seven cross sections on Mill Creek from the confluence with the Huron River to a location 4.37 miles upstream. The cross section numbers are presented as river miles from the confluence with the Huron River. The Mill Creek Dam is located at MC-0.51 or 2,693 feet upstream from the confluence. The survey data from the cross sections was used to characterize existing channel conditions in the lower Mill Creek watershed. A channel profile was prepared using survey data from the cross sections where the lowest channel survey point (thalweg) and water surface was plotted using the Mecklinburg reference reach spreadsheet as shown on Figure 1. This profile shows general channel slopes from the Huron River, through the Mill Creek dam to a location 4.37 miles upstream of the Huron River and illustrates the influence of the dam on upstream channel conditions.

Analysis of this survey data reveals that Mill Creek is a very low gradient stream upstream of the influence of the dam. The existing channel slope between MC-0.05 and MC-4.37 is 0.12%. The highest average channel slope is between the dam and the Huron River with a calculated slope of 0.14%. The average existing channel slope from the top of the sediment immediately upstream of the dam to station MC-4.37 is 0.066%. A summary of this data is presented on Table 1.

Reducing the amount of sediment which will move downstream and out of the project area to the maximum extent feasible is very important consideration given the presence of Cadmium and potentially other undesirable materials in the sediment. The design includes the construction of a total of five in-stream grade control structures. The rock structures will serve to steepen the channel in the project area and will allow some sediment in the channel upstream of the last structure to remain. Temporary sediment traps are also included in the design with provisions for removing sediment from the traps during construction are also included.

The structures downstream of the grouted apron will serve to raise the water surface over the apron to provide adequate depth for fish passage. Through field adjustments during construction, large gaps will be included in the rock structures. These gaps will be sufficient to allow fish passage and also raise the water surface sufficient to allow fish passage over the grouted apron as shown on the design plans.

Once the dam is breached, a rock sill will be placed along the immediate upstream edge of the grouted apron to provide at least an additional one foot increase of the channel bed and water surface. This rock sill will also have sufficient gaps to allow fish passage but will also raise the channel invert and water surface to minimize sediment mobilization.

### **Sediment Characterization**

A fairly extensive sediment analysis was conducted to characterize impounded sediment. Impounded sediment was first sampled and analyzed on April 25, 1996 at five locations which were located near the dam. The results of the analyses indicated elevated levels of cadmium, phosphorus and some metals.

As the dam removal project moved forward, a second set of samples were collected and analyzed on May 8, 2006 by GeoSyntec Consultants at five locations. The results of the analyses were presented in a report prepared by Prein & Newholf (Mill Creek Dam Removal Study, July, 2006). The analytical results revealed that no PCB's or PNA's were detected in any of the samples and that all metals except cadmium were below Probable Effect Concentrations (PEC) guidelines (MacDonald, et. al. 2000). Synthetic Precipitation Leaching Procedure (SPLP) tests for cadmium were completed to determine the metal's ability to leach into solution. The results of the analyses revealed that cadmium levels were below the detection limit indicating that cadmium will not go into solution and is likely to bind to sediment particles and reduce it's bioavailability to aquatic organisms.

In order to further assess the need for further sediment management during the dam removal, a third sampling effort was completed by URS Corporation on October 11, 2006. The samples were collected at the same location as the May 8, 2006 sampling date but also included the collection and analysis of two additional samples collected 50 upstream and downstream of the Intermediate 2 sample location as shown on the design plans. The samples were analyzed for cadmium and phosphorous and the results for cadmium were consistent with the previous sampling efforts showing slightly elevated levels. Phosphorous levels ranged from a high of

1300 mg/kg near the dam (station MC-0.53A) to a low of 580mg/kg at the Intermediate 2 station. Information pertaining to the October 11, 2006 sampling date is shown on Table 2. A sediment toxicity test using a 10-day survival test for the amphipod *Hyaella azteca* and the dipteran *Chironomus tentans*. The results of this test indicate slightly elevated level of cadmium in the impounded sediment, and consequently the need for sediment management plan..

## PROPOSED DESIGN

The design for the dam removal was developed to minimize the amount of sediment that will require removal and to minimize the amount of potential sediment mobilization. As shown on the design profile, the design proposes raising the water surface elevation downstream of the dam to allow fish passage over the grouted rock apron. The water surface will be raised approximately two feet by installing two rock grade control structures downstream of the apron. Two additional rock sills are proposed immediately upstream of the grouted rock apron (once the dam is removed) to raise the water surface an additional two feet in elevation. Gaps between the rocks will be maintained to allow for fish passage through this hydraulic jump. The rock sill will be keyed into the apron and will also serve to raise the channel an additional one foot to provide grade control for impounded sediment.

The elevation of the top of sediment immediately upstream of the dam is 839.8'. With the installation of the rock sill along the upstream face of the apron, the proposed design invert of the stream is 835' at this location. The maximum thickness of sediment at the dam therefore is five feet. Much of this sediment upstream of the dam will be removed and disposed of in designated fill areas shown on the design plans.

A temporary rock access road will be constructed approximately 20 feet upstream of the dam to gain access to the dam for phased breaching. This temporary road will provide the following functions:

- serve as the access to complete phased breaching
- serve as the access to excavate impounded sediment immediately behind the dam
- create a temporary sediment trap for impounded sediment until dewatering is complete
- serve as a permanent grade control structure upon completion

During phased breaching and impoundment dewatering, some sediment mobilization will occur. The temporary access road and area just upstream of the access road will act as a sediment trap during the phased dam removal. It is anticipated that approximately 500 CY of sediment will be removed initially to install the temporary access road and complete initial channel grading. During the phased breach and impoundment dewatering, the temporary rock access road will be lowered to maintain the top elevation at one foot below the water surface. The material removed from the temporary access road will be used for armoring the sides of the channel as shown. In addition to sediment which accumulates adjacent to the access road, sediment will also accumulate in the scour pool immediately downstream of the grouted apron and around the downstream double throat rock cross vane structure. All sediment will be removed from these areas on a regular basis and be disposed in the designated fill area shown in the plans.

Upon completion of construction, the sediment fill area will be covered with orange plastic snow fencing material. Should excavation be done in the future in this area, the snow fencing material should alert the excavator that they should not excavate below this point. Eight inches of clean imported earth and 4 inches of topsoil, with will then be placed on the sediment and the area seeded and mulched.

A Detailed Construction Sequence is included on the note sheet of the plans.

#### **4. PROJECT PUPOSE AND ALTERNATIVES CONSIDERED (supplement to JPA section 4, page 1)**

The primary purpose of the project is to remove the Mill Creek Dam and restore Mill Creek to a free flowing condition. The removal of the dam will also improve water quality and allow fish passage between the Huron River and the upper Mill Creek watershed. Several dam removal and sediment management alternatives were considered and are discussed.

From the early conceptual stages, the overall goal of the project was to minimize disturbance upstream of the dam during dewatering and the phased breaching of the dam. The initial dam breach and dewatering was proposed by using the existing Main Street bridge to access the dam. The east bound lane of the bridge would need to be closed to traffic during the dam breach but construction equipment would need to meet the existing bridge weight restrictions. Based on existing data collected and reviewed, a new constructed channel having a bankfull width of 60 feet and a bankfull depth of 4 feet was proposed. In addition to the removal of impounded sediments, a 20 foot wide floodplain bench would be excavated along both banks. The bottom of the proposed channel would have a width of 44 feet. All of initial alternatives assumed that the new channel would tie into the invert of the grouted apron dam at elevation 834'. The upper limits of the project was approximately 1,375 feet upstream of the dam at elevation 840.6'. The slope of the proposed new channel would be 6.6'/1375' or .0048. The creation of this restored channel would require the removal and disposal of an estimated 22,500 cubic yards of sediment. The initial three options considered are as follows:

### **Alternatives Considered**

#### **Option A**

This option involved the excavation and removal of sediment to create a new channel. Excavation would extend from the dam to 1375 feet upstream of the dam. The sediment from the channel would be excavated and placed along the edge of the proposed new floodplain bench and no cap would be required.

#### **Option B**

This option is the same as Option A excepting that the sediment would be capped with 1 to 2 feet of compacted clay (permeability  $1 \times 10^{-6}$  cm/s or lower), depending upon state requirements. Capping of this material would add an estimated \$40,000 to \$70,000 to the construction cost.

#### **Option C**

Option C included the removal of the total volume of 22,500 cubic yards of sediment in the impoundment area (estimated 60,000 tons) which would be disposed off site at a licensed solid waste landfill. The estimated project cost is approximately \$600,000 to \$1,000,000 provided a

facility is located within 20 miles of the dam site. If the entire volume of this material was determined to be hazardous, that cost could increase by more than an order of magnitude.

#### **Option D**

In order to reduce overall earth disturbance and potential sediment mobilization during removal of the dam, a conceptual design was developed to reduce the amount of disturbance. This option involved the construction of two large ins-stream rock structures, one approximately 300 feet upstream of the dam and another located 750 feet upstream of the dam. The option would require the disposal of sediment on-site however the volume of required sediment excavation would be reduced to approximately 7,800 CY using the initial proposed channel dimensions and by creating (4) one foot steps in channel. The length of stream proposed for new channel excavation would also be reduced from 1,375 feet to approximately 900 feet by installing the stepped rock structures.

Although this proposed approach would reduce the overall area of impact, considerable disturbance would be required to gain equipment access and large rock material delivered to the dewatered impoundment. Keeping the apron in place downstream of the dam would provide construction benefits with respect to vertical change to overcome with the new channel profile, however the apron would continue to be a barrier to fish movement after the dam was removed due to the shallow depth of water over apron and a 1.8' drop in water surface elevation from the end of the apron to plunge pool below the apron.

#### **Preferred Alternative**

The existing sediments are so soft that costs to provide access to construction equipment to excavate the channel would be excessive and beyond available funds. The channel depth is insufficient to allow use of a barge for excavating the sediment. In addition, the construction equipment dredging the channel would disturb considerable sediment during excavation operations.

An alternative approach to minimize the amount of sediment that is disturbed was developed and is presented in the attached plans. The final design will meet all the project goals. This option involves the installation of a cross rock structure downstream of the apron in order raise the downstream water surface to get fish passage over the apron. Two additional rock sills will be installed upstream of the dam using large boulders. These sills will serve as grade control structures to minimize the amount of sediment mobilization.



The proposed alternative will also increase recreational use including s aquatic habitat improvements, unrestricted fish passage between the Huron River and the upper Mill Creek watershed, and improved boating conditions for canoes and kayaks.

PLAN INDEX	
SL. NO.	DESCRIPTION
1	TITLE SHEET
2	SECTION 1 - ROAD PLANS
3	TYPICAL CROSS SECTIONS
4	MISCELLANEOUS DETAIL SHEET
5	NOTES & QUANTITIES SHEET
6	LEGEND SHEET
7	WITNESS AND BENCHMARKS
8	DEXTER-PINCKNEY REMOVAL
9	11-13 DEXTER-PINCKNEY CONSTRUCTION
10	14-18 MAINTAINING TRAFFIC PLANS
11	19-23 SIGNING PLANS
12	24 PAVEMENT MARKING PLANS
13	SECTION 2 - BRIDGE PLANS
14	GENERAL PLAN OF SITE
15	25 SOIL BORING DATA
16	27-28 GENERAL PLAN OF STRUCTURE
17	29 EXISTING GENERAL PLAN OF SITE
18	30 EXISTING GENERAL PLAN OF STRUCTURE (REMOVAL)
19	31 CONSTRUCTION STAGING
20	SECTION 3 - DAM REMOVAL
21	GENERAL PLAN OF SITE
22	32 PLAN
23	34-35 STREAM PROFILE
24	36-38 STREAM CROSS SECTIONS
25	40-41 DETAILS
26	42 NOTES

### GENERAL NOTES

THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER AS TO ENSURE THAT THESE UTILITIES ARE NOT DISTURBED. RELOCATION WILL NOT BE DISTURBED.

PLAN ELEVATIONS REFER TO NAVD83 DATUM.

WATER LEVEL IS SUBJECT TO CHANGE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING A DETERMINATION OF WATER LEVELS THAT MAY EXIST DURING CONSTRUCTION.

MEASURES SHALL BE TAKEN TO PREVENT DEBRIS FROM FALLING FROM THE STRUCTURE. DEBRIS SHALL BE REMOVED IMMEDIATELY. IT SHALL BE REMOVED WITHIN THE WATERWAY, SINCE DISTURBANCE OF THE WATERWAY BOTTOM MAY BE AFFECTED BY THE DEBRIS ITSELF. THE PREVENTIVE MEASURES MUST BE EFFECTIVE.

IMMEDIATELY AFTER THE CONSTRUCTION OF AN ABUTMENT IS COMPLETED, SLOPE PROTECTION AND SEEDING OR SODDING SHALL BE PLACED ON THE ADJACENT EMBANKMENT SLOPES.

### TITLE SHEET LEGEND

EXISTING ROADS .....  
PAVED .....  
TOWNSHIP LIMITS .....  
RAILROADS .....

# WASHTENAW COUNTY ROAD COMMISSION

## IN COOPERATION WITH

### MICHIGAN DEPARTMENT OF TRANSPORTATION & FEDERAL HIGHWAY ADMINISTRATION

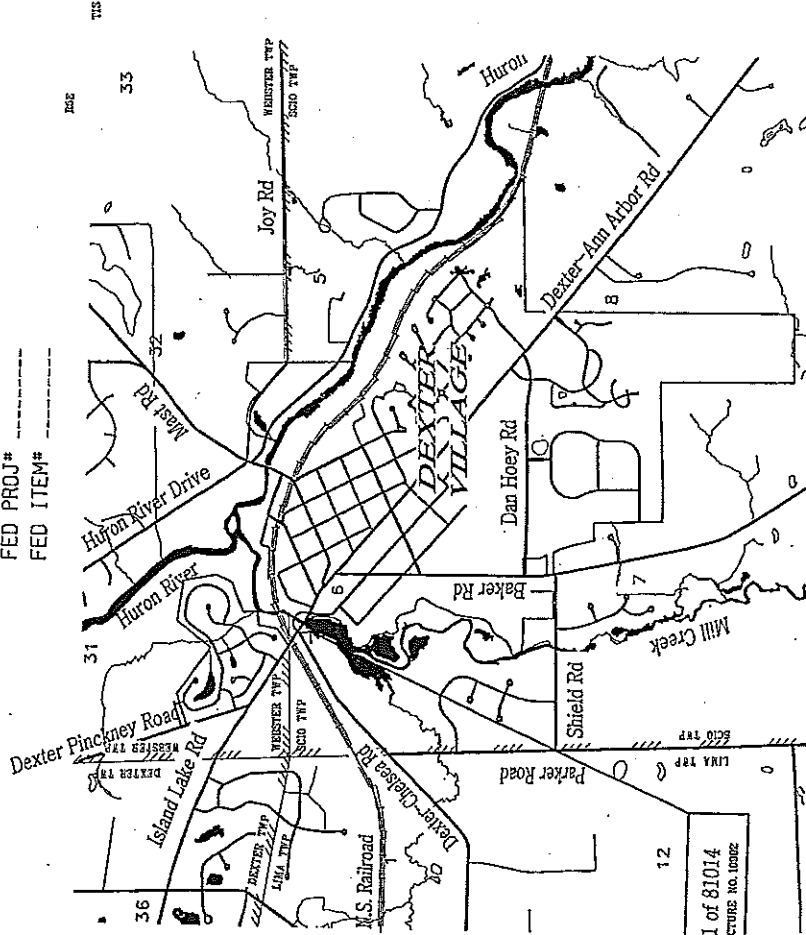
## MAIN STREET BRIDGE REPLACEMENT OVER MILL CREEK

### SCIO TOWNSHIP & VILLAGE OF DEXTER

#### WASHTENAW COUNTY

#### MICHIGAN LOCAL BRIDGE REPLACEMENT

PROJECT NO. BRT XXXX  
CS 81014 JN 83942A  
FED PROJ#  
FED ITEM#



B01 of 81014  
STRUCTURE NO. 10002

SECTION 6  
FED PROJ#  
SCIO TOWNSHIP  
VILLAGE OF DEXTER

MAIN STREET TRAFFIC INFORMATION	
YEAR	2004
A.D.T. (DIRECTIONAL)	10,000
D.A.T. (DIRECTIONAL)	1,000
COMP. Z.	3.52
DESIGN SPEED	25 MPH
POSTED SPEED	25 MPH / 30 MPH

### GENERAL NOTES

THE RECONSTRUCTION DESIGN IS BASED ON CURRENT ASHSTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES 1620-14, LIVE LOAD PLUS IMPACT DEFLECTION DOES NOT EXCEED 1/1000 SPAN LENGTH. THE LOAD FACTOR METHOD WAS USED FOR THIS DESIGN. EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, OR IN THE SPECIFICATIONS, ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION 2003 EDITION.

THE DESIGN OF THE STRUCTURAL MEMBERS IS BASED ON MATERIAL OF THE FOLLOWING GRADES AND STRESSES:

CONCRETE: GRADE 52  
F<sub>c</sub> = 3,000 PSI  
CONCRETE: GRADE 40  
F<sub>c</sub> = 4,000 PSI  
PRESTRESSED CONCRETE  
F<sub>p</sub> = 60,000 PSI  
PRESTRESSED STRANDS  
F<sub>p</sub> = 270,000 PSI

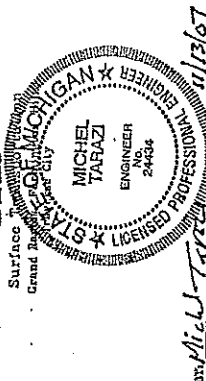
ALL EXPOSED CONCRETE CORNERS SHOWN SQUARE ON THE PLANS SHALL BE BEVELED WITH 1/4" TRIANGULAR HOLDINGS EXCEPT AS OTHERWISE NOTED.

THE EXISTING BRIDGE BEAMS ARE COATED WITH LEAD BASED PAINT. THE REGULATED WHITE ACTIVITY IDENTIFICATION NUMBER FOR THIS PROJECT IS 1111 00145454.

PROJECT LENGTH  
DEXTER-PINCKNEY ROAD/MAIN STREET  
P.O.B. STA 110+00.00  
P.O.E. STA 115+40.00  
0.4 MILES

CONTRACT FOR THE MAIN STREET BRIDGE OVER MILL CREEK, MILL CREEK DAM REMOVAL, SEDIMENTATION MANAGEMENT AND APPROACH WORK  
THESE PLANS WERE PREPARED FOR THE  
WASHTENAW COUNTY ROAD COMMISSION

URS



COUNTY ROAD COMMISSION APPROVALS

RECOMMENDED FOR APPROVAL

COUNTY HIGHWAY ENGINEER

NOV 16 2007

RECEIVED

NOV 16 2007

TRANSPORTATION AND FLOOD HAZARD MANAGEMENT UNIT

CONTROL SECTION	JOB NUMBER	DATE
B01 of 81014	02942A	

Washtenaw County Road Commission  
URS  
Professional Engineer  
Michel Tarazi  
License No. 24434  
State of Michigan

**CAUTION  
CRITICAL UTILITY**

TY

AT&T NICHIGAN  
TON JETT  
550 SOUTH MAPLE RD. FLOOR 2  
ANN ARBOR, MI 48103  
(734) 995-5358

$\Delta = 6^{\circ} 00' 02''$  (LT)

04W1 INEL053 7' MON BOX W/ PIN & RED CAP LOCATED IN  
CENTRAL PLUM (EAST OF UTILITY) ELEV= 870-80 NAVD 80  
04W2 SPACES EAST OF UTILITY. POLE AT NW CORNER  
OF MAIN ST. MON EXTERIOR ELEV= 831.36 NAVD 80  
04W3 RAILROAD SPIKE IN PLACE OF UTILITY POLE. 8' MON BOX  
SIDE OF DEVER CHELSEA ROAD AND EAST SIDE OF DEVER FLOOR.  
STORE DRIVE. ELEV= 862-23 NAVD 80  
04W4 "OPEN" ARROW ON WARDEN AT EASTERLY CORNER OF EASTRIDGE

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[illegible]

NOV 16 2007

THE WORK COVERED BY THESE PLANS INCLUDES, MAINTAINING TRAFFIC BY PART-NOTH CONSTRUCTION, REMOVAL OF EXISTING BRIDGE AND CHANNEL MANAGEMENT, CONSTRUCTION OF THE PROPOSED BRIDGE, CHANNEL BELLOUQUET, PLACING RIPRAP TO THE LIMITS SHOWN AND APPROACH WORK. ALL OTHER WORK IS INCLUDED IN THE ROAD PLANS THAT ARE A PART OF THIS CONTRACT.

TRAFFIC IS TO BE MAINTAINED OVER THE BRIDGE BY PART-WIDTH CONSTRUCTION. THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT OPERATIONS IN SUCH A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.

TOPOGRAPHY SHOWN HERE REPRESENTS CONDITIONS EXISTING AT THE TIME THE FIELD SURVEY WAS MADE. HOWEVER, THESE CONDITIONS MAY HAVE BEEN MATERIALLY ALTERED BY THE OPERATIONS OF OTHERS PRIOR TO THIS CONTRACT. WATER LEVEL IS SUBJECT TO CHANGE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING A DETERMINATION OF WATER LEVELS THAT MAY EXIST DURING CONSTRUCTION.

MEASURES SHALL BE TAKEN TO PREVENT DEBRIS FROM FALLING FROM THE STRUCTURE. IF DEBRIS FALLS INTO THE WATERWAY, IT SHALL BE REMOVED WITHIN 24 HOURS, SINCE DISURBANCE OF THE WATERWAY BOTTOM MAY BE AS HARMFUL AS THE DEBRIS ITSELF. THE PREVENTIVE MEASURES MUST BE EFFECTIVE.

IMMEDIATELY AFTER THE CONSTRUCTION OF AN ADJUTANT IS COMPLETED, SLOPE PROTECTION AND SEEDING OR SOILING SHALL BE PLACED ON THE ADJACENT ENDEAVOURMENT SLOPES.

PLAN ELEVATIONS REFER TO NAVD88 DATUM.

GENERAL PLAN OF SITE  
(DEXTER) MAIN STREET BRIDGE

DATE	CONT. SEC.	JOB NO.	DESIGN UNIT	SHEET
06/18/07	B01 OF 81014	83942A	-	25 OF 31

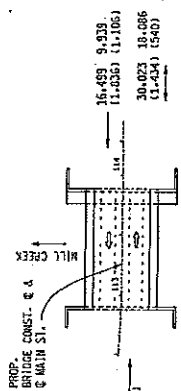
**URS**  
Transportation  
Fertilization, Ill.

Washtenaw

**URS**  
Surface Transport  
Grand Rapids Terminal

**Surface Transport**  
**Grand Rapids Farmhouse**

## TYPICAL APPROACH SECTION

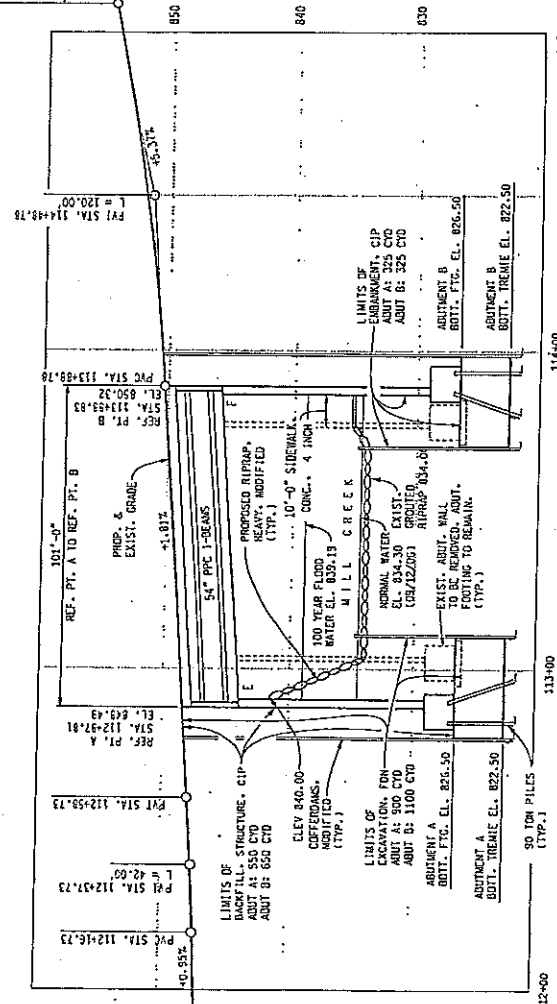


## 2026 ESTIMATED TRAFFIC DISTRIBUTION

0000	2026 AVERAGE DAILY TRAFFIC
(000)	
0000	2026 DESIGN HOURLY VOLUME
0000	2004 AVERAGE DAILY TRAFFIC
(000)	2004 DESIGN HOURLY VOLUME
	COMMERCIAL - ADT
3.6%	COMMERCIAL - DMV
3.5%	DIRECTIONAL TRAFFIC
	TOTAL TRAFFIC

SITUATION PLAN

SCALE - 1" = 20'



PROFILE ALONG C MAIN STREET

VERT. SCALE - 1" = 5'  
HORIZ. SCALE - 1" = 20'



Chemical structure	Reaction conditions	Yield (%)	mp (°C)	lit. mp (°C)
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151
	$\text{H}_2$ , Pd/C, 100°C, 24 h	85	150-151	150-151

TRANSPORTATION AND  
FLOOD HAZARD MANAGEMENT UNIT



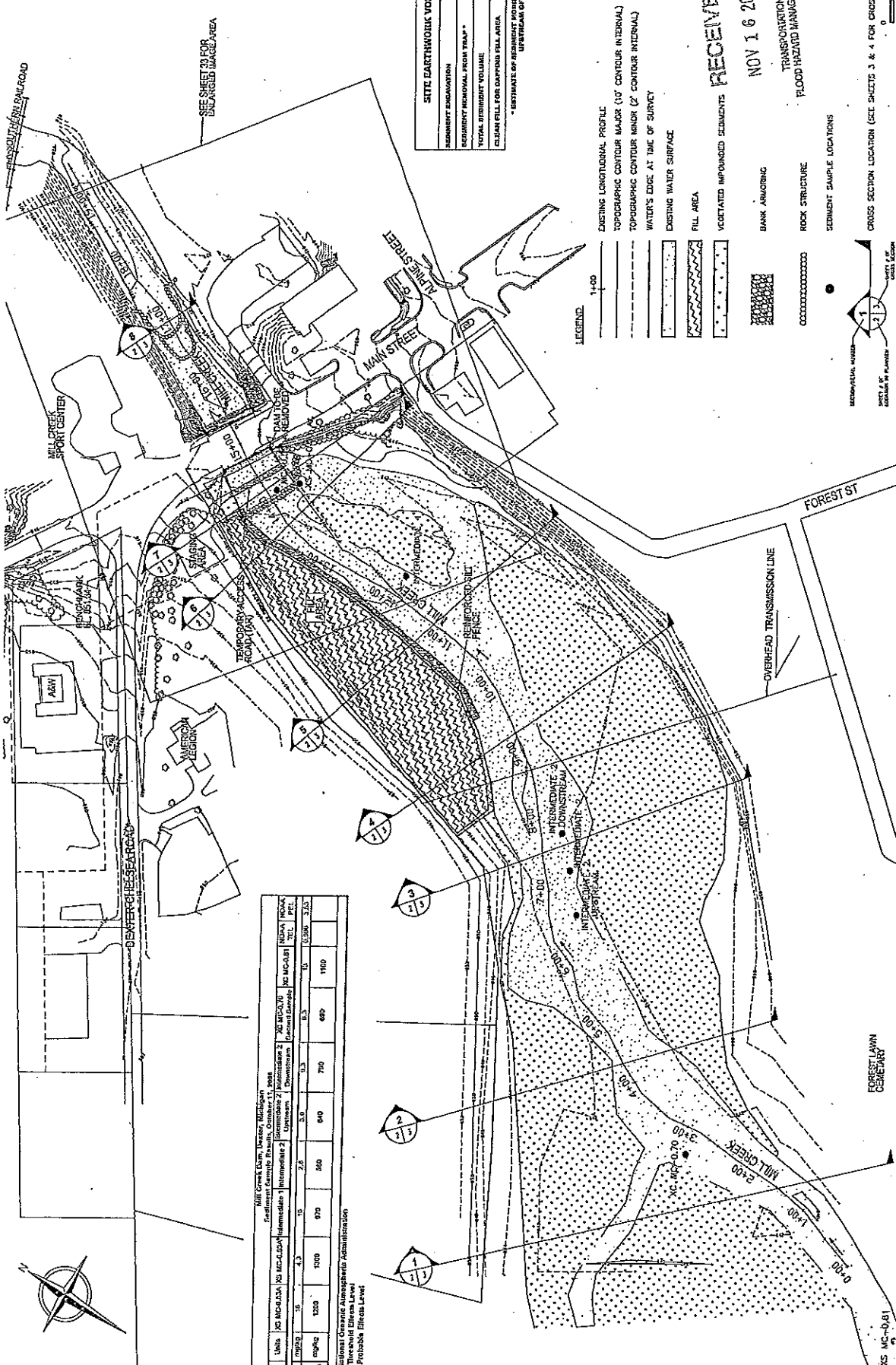
### TYPICAL ABUTMENT A SECTION

**URS**  
Surface Transport  
Grand Rapids, Farmington

Wash, tenaw

GENERAL PLAN OF STRUCTURE  
(DEXTER) MAIN STREET BRIDGE

DATE	CONT. SEC.	JOB NO.	DESIGN UNIT	SHEET
06/18/07	B01 OF 81014	83942A	-	28 OF 33



SITE EARTHWORK VOLUMES	
SEDIMENT ENCROACHMENT	710 C.Y.
SEDIMENT REMOVAL FROM TRAP*	4718 C.Y.
TOTAL SEDIMENT VOLUME	5428 C.Y.
CLEAN FILL FOR DAYPOUR FILL AREA	4300 C.Y.

\* ESTIMATE OF SEDIMENT VOLUME FROM PHOTO SURVEY  
UNITS: CUBIC YARDS

- LEGEND**
- EXISTING LONGITUDINAL PROFILE
  - TOPOGRAPHIC CONTOUR MAJOR (10' CONTOUR INTERVAL)
  - TOPOGRAPHIC CONTOUR MINOR (2' CONTOUR INTERVAL)
  - WATER'S EDGE AT TIME OF SURVEY
  - EXISTING WATER SURFACE
  - FILL AREA
  - VEGETATED IMPROVED SEGMENTS
  - BANK ARMORING
  - ROCK STRUCTURE
  - SEDIMENT SAMPLE LOCATIONS

**RECEIVED**  
NOV 16 2007  
TRANSPORTATION AND  
FLOOD HAZARD MANAGEMENT UNIT

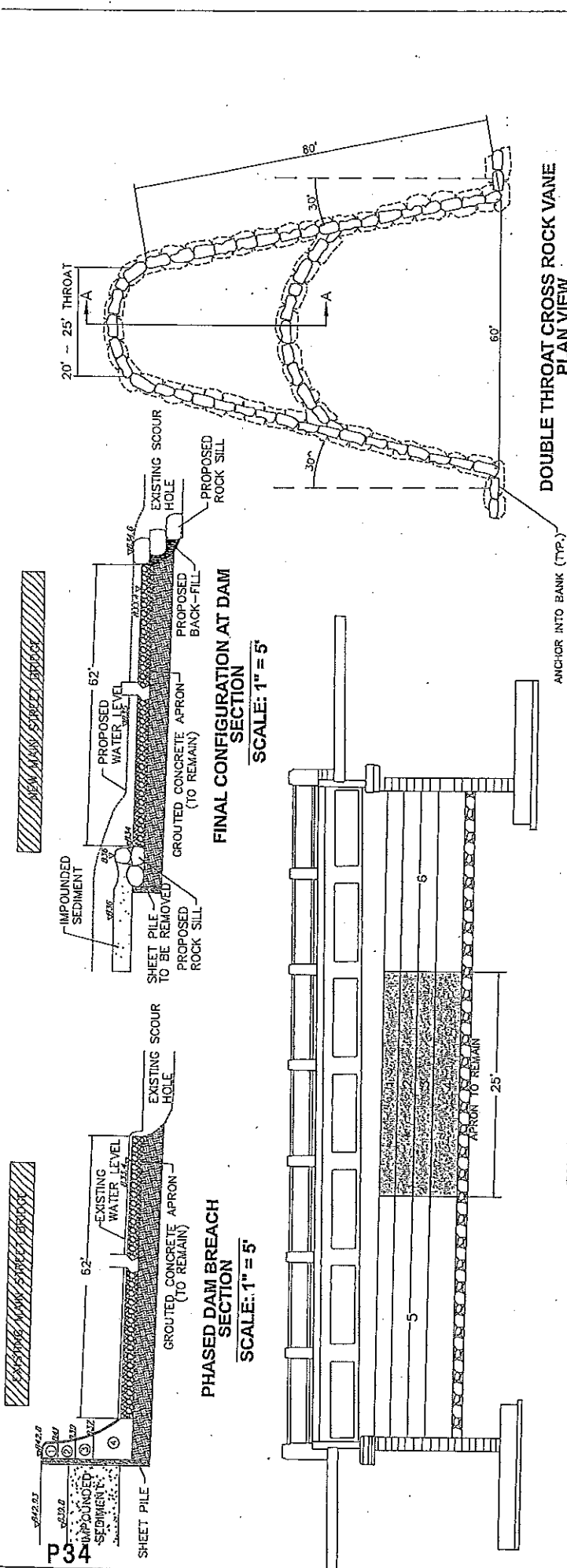
CROSS SECTION LOCATION (SEE SHEETS 3 & 4 FOR CROSS SECTIONS)  
SCALE: 1" = 20'  
0 50 100 150  
FEET

Mill Creek Dam Removal, Michigan  
USDA National Forest Service Administration  
TEL: 906.487.1111  
P.L. = Probable Effects Level

Analysis	Units	USDA National Forest Service Administration	USDA National Forest Service Administration	USDA National Forest Service Administration	USDA National Forest Service Administration	USDA National Forest Service Administration	USDA National Forest Service Administration	USDA National Forest Service Administration	USDA National Forest Service Administration
Gravel	cu yd	15	4.3	10	2.8	3.0	0.3	1.3	15
Coarse sand	cu yd	1200	1200	970	810	640	750	480	1100
Fine sand	cu yd	1200	1200	970	810	640	750	480	1100
Total	cu yd	2400	2400	1940	1620	1390	1500	930	2200

<b>URS</b> URS CORPORATION 10000 DEER CREEK DRIVE SUITE 200 FARMINGTON, CT 06030-1000 TEL: 860.475.0000 FAX: 860.475.0000		MILL CREEK DAM REMOVAL VILLAGE OF DEXTER, MICHIGAN GENERAL SITE PLAN	
PROJECT NO.: 1294022-4 SHEET NO.: 32 DATE: 11/13/2007	SCALE: 1" = 20' 0 50 100 150 FEET	CROSS SECTION LOCATION (SEE SHEETS 3 & 4 FOR CROSS SECTIONS)	32 OF 42





**PHASED DAM BREACH ELEVATION VIEW LOOKING UPSTREAM**  
SCALE: 1" = 5'

**DOUBLE THROAT CROSS ROCK VANE PLAN VIEW**  
SCALE: 1" = 10'

**TYPICAL ROCK SPECIFICATION**

**DETAIL**

SCALE: 1" = 1'

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**URS**

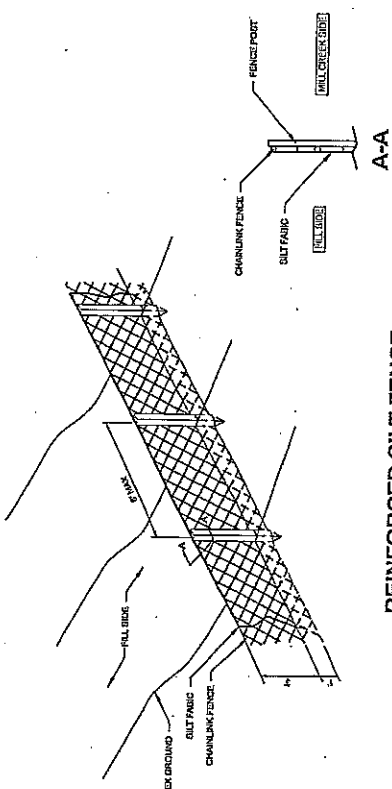
AMERICAN ROCK REMOVAL  
CORPORATION, TRANSPORTATION AND  
FLOOD HAZARD MANAGEMENT UNIT

KILL CREEK DAM REMOVAL  
VILLAGE OF DEXTER, MICHIGAN

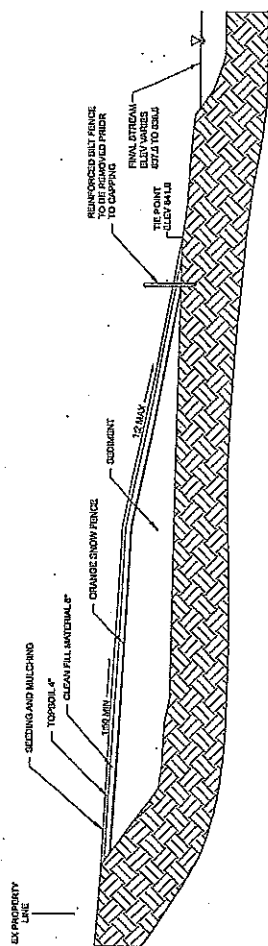
DETAIL SHEET

REV	BY	DATE	DESCRIPTION	DATE	BY	DATE	DESCRIPTION
1	URS	11/13/2007	AS SHOWN	11/13/2007	URS	11/13/2007	AS SHOWN
2	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
3	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
4	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
5	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
6	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
7	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
8	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
9	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
10	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
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12	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
13	URS	11/13/2007	40	11/13/2007	URS	11/13/2007	40
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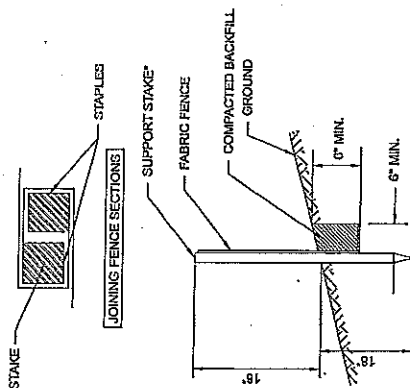




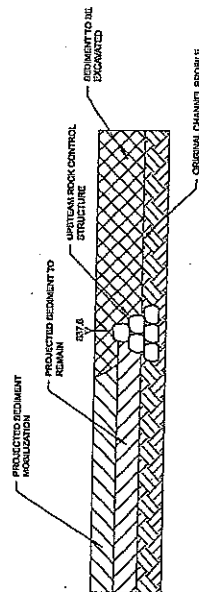
REINFORCED SILT FENCE  
DETAIL  
N.T.S.



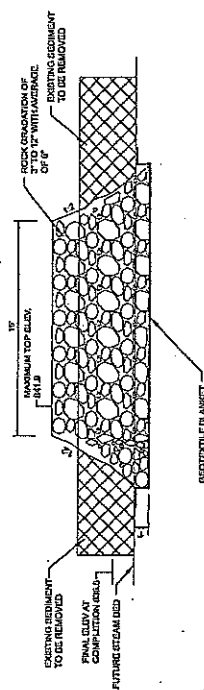
FILL AREA SECTION  
DETAIL  
N.T.S.



STANDARD FILTER FABRIC  
FENCE (18" HIGH)  
N.T.S.



UPSTREAM ROCK CONTROL STRUCTURE  
DETAIL  
N.T.S.



TEMPORARY ACCESS ROAD  
DETAIL  
N.T.S.

NOTES:

1. STAPLES SPACED @ 8" MAXIMUM. USE 2" X 2" WOOD OR EQUIVALENT STEEL SPACER.
2. FILTER FABRIC FENCE MUST BE PLACED AT 12" OVER EXISTING GROUND. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 6 FEET UP SLOPE/FLAT.
3. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACHES 10" TO THE ABOVE GROUND HEIGHT OF THE FENCE.
4. ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPAIRED AND/OR REPLACED.

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REVISIONS				DESCRIPTION			
NO.	BY	CHKD	DATE	NO.	BY	CHKD	DATE
1				1			
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99				99			
100				100			

URS

URS CORPORATION  
400 W. WISCONSIN AVENUE, SUITE 200  
ANN ARBOR, MI 48106-1500  
TEL: 734.769.7000 FAX: 734.769.7001  
WWW.URS-CORP.COM

MILL CREEK DAM REMOVAL  
VILLAGE OF DEXTER, MICHIGAN

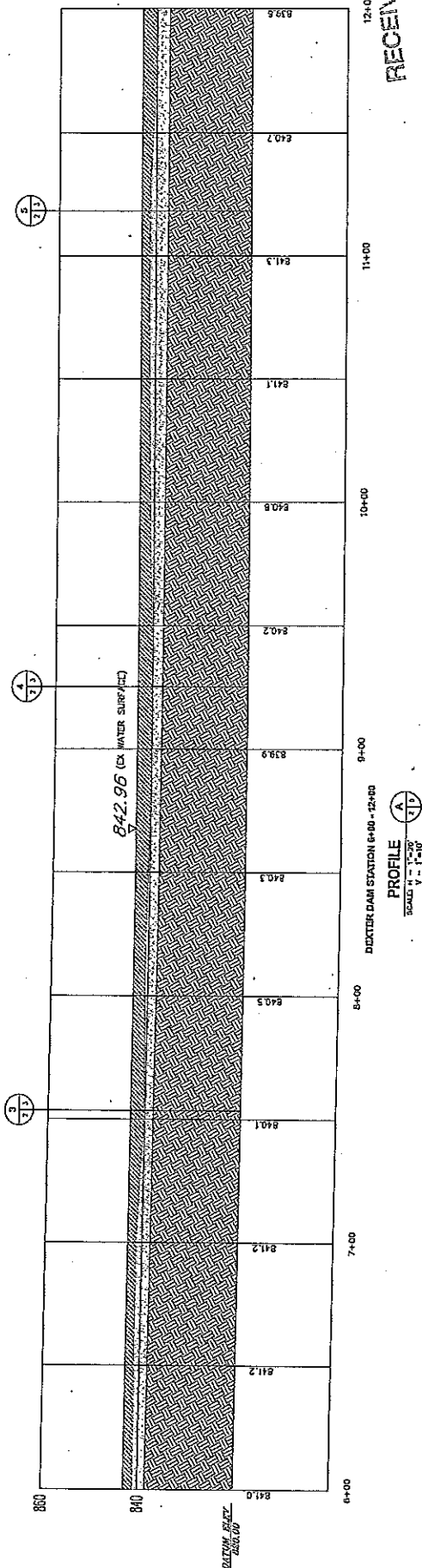
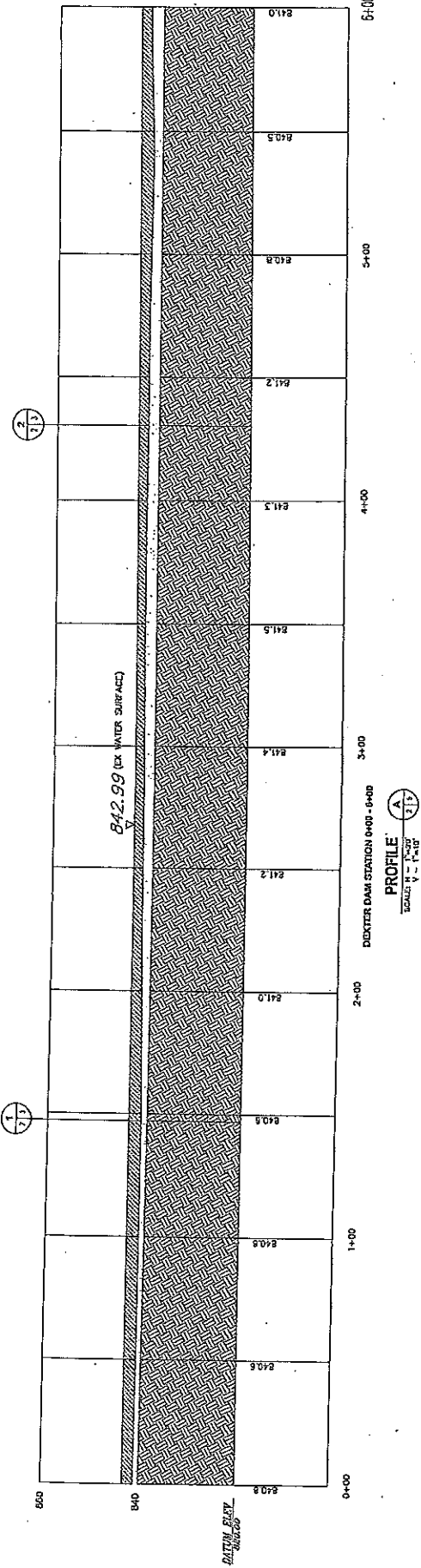
DETAIL SHEET

PROJECT: 12940224 AS SHOWN

SHEET: 41

DATE: 11/13/2007

REVISION: 41 OF 42



LEGEND

- APPROXIMATE GRADE ANTICIPATED AFTER WEATHERING AND EROSION OF ROCK SLOPES/RAZE CONTROLS
- EXISTING GROUND
- EXISTING WATER LEVEL
- SEGMENT TO BE EXCAVATED
- EXTENT OF PROJECTED SEDIMENT MOBILIZATION
- ROCK SILL AND/OR RADIAL STRUCTURE
- CROSS SECTION NUMBER
- CROSS SECTION LOCATION (SEE SHEETS 3 & 4 FOR CROSS SECTIONS)
- SHEET # OF LOCATION IN PLANVIEW
- CROSS SECTION

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TRANSPORTATION AND FLOOD HAZARD MANAGEMENT UNIT  
CROSS SECTION LOCATION (SEE SHEETS 3 & 4 FOR CROSS SECTIONS)

**URS**  
URSKORPORATION  
4000 NORTH STREET, SUITE 200  
DENVER, COLORADO 80202  
TEL: 303.733.1000  
WWW.URSCORP.COM

MILL CREEK DAM REMOVAL  
VILLAGE OF CENTER, MICHIGAN

PROJECT NO. 12940824  
SHEET 34  
DATE 11/13/2007  
34 OF 42

DATE  
DRAWN BY  
CHECKED BY  
APPROVED BY  
DATE

NO.	BY	DATE	DESCRIPTION

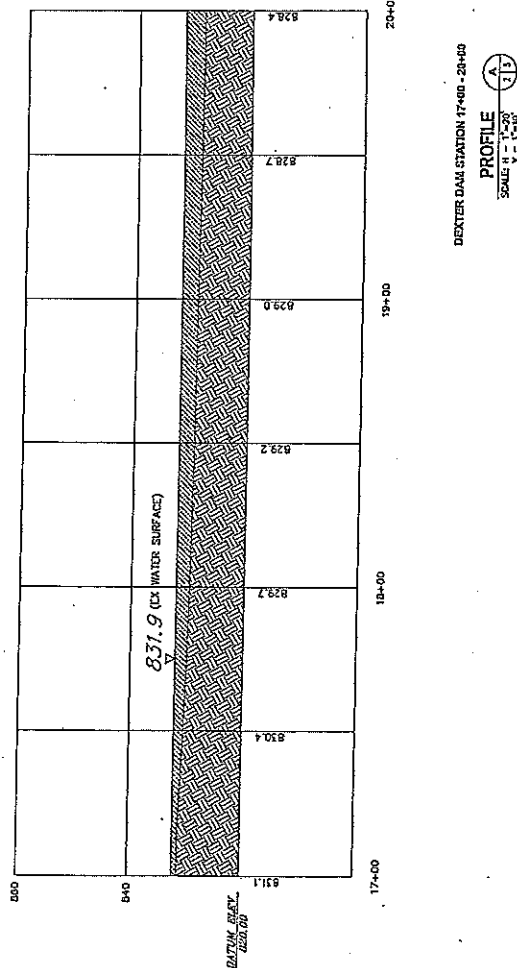
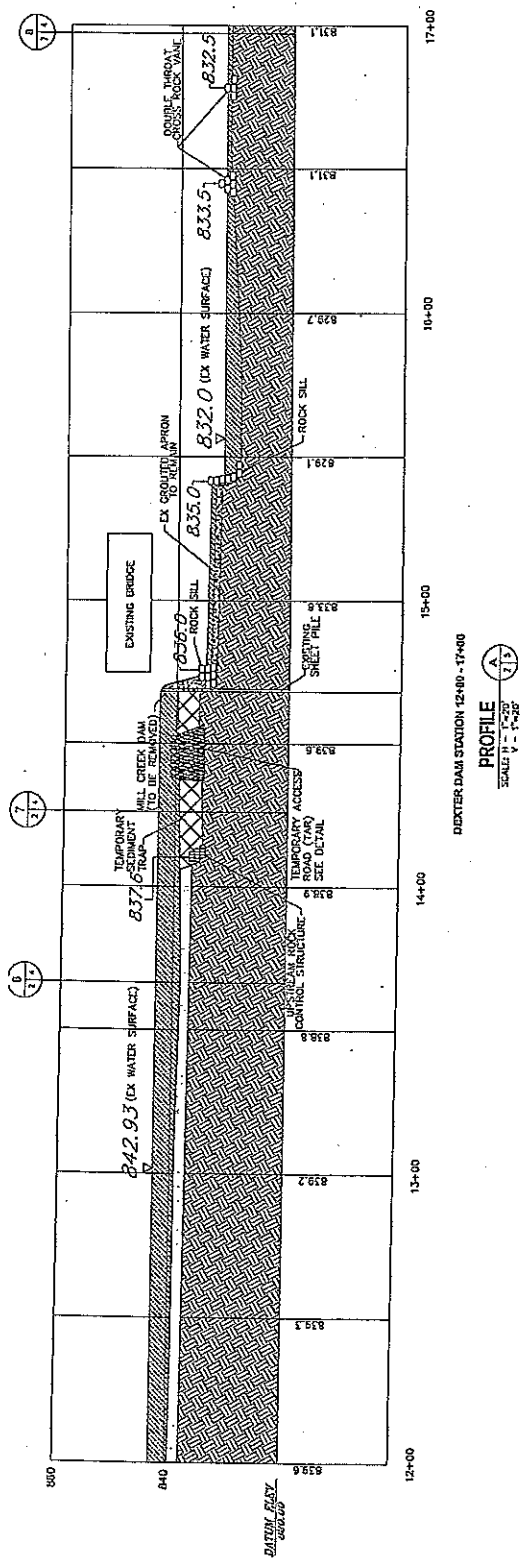




FIGURE 4.  $H = 1^{\circ}20'$



CALE: H - 1<sup>st</sup> - 20

**LEGEND**

- PLANVIEW

2007 NORTH-MOUNT STREET, SUITE 200  
HARRISBURG, PENNSYLVANIA 17109  
TEL: 717-655-2000 FAX: 717-655-2003

DESIGNED BY	DATE
DRAWN BY	
CHECKED BY	
APPROVED BY	
CLIENT APPROVED BY	

\_\_\_\_\_

[illegible]

12940224	1°=20"
30	11/13/2007
36 OF 42	

**CROSS SECTIONS 1-4**

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LEGEND

APPROXIMATE GRADE ANTICIPATED  
AFTER DEWATERING AND INSTALLATION  
OF ROCK SILLS/GRAB CONTROLS

EXISTING GROUND

EXISTING WATER LEVEL

SEDIMENT TO BE EXCAVATED

PROPOSED FILL AREA

EXTENT OF PROJECTED  
SEDIMENT MOBILIZATION  
AS SURVEYED

WATER LEVEL ELEVATION  
AS SURVEYED

SEDIMENT PROBE LOCATION

ROCK STRUCTURE

PROFILE LOCATION  
(SEE SHEET 5 FOR PROFILE)

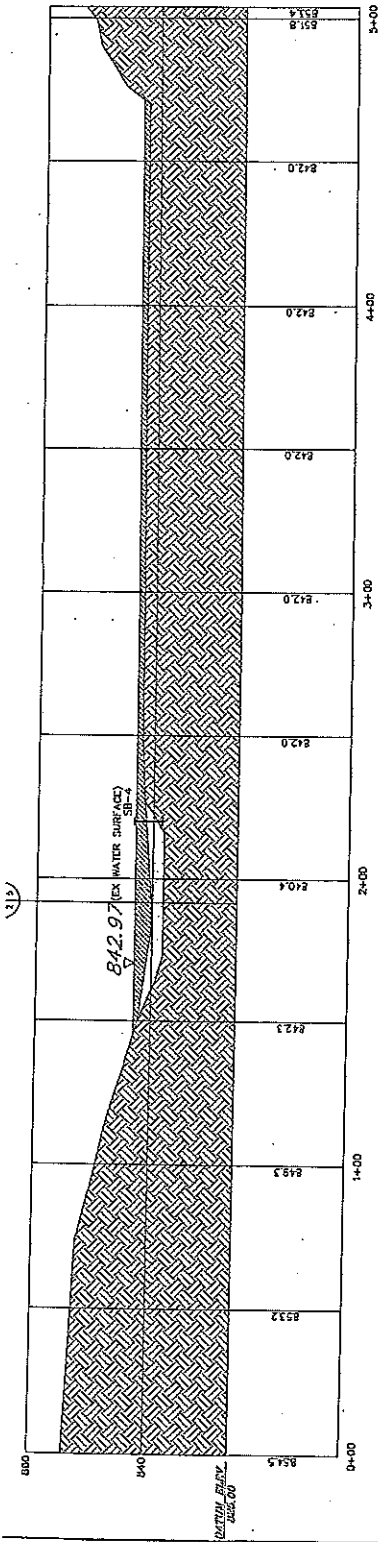
PROFILE LETTER  
SHEET 5 OF  
LOCATION A PLANNED  
CROSS SECTION

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UNIVERSITY OF MICHIGAN  
ENGINEERING PROJECT SERVICES, L.L.C.  
1000 S. ZEEB ROAD  
ANN ARBOR, MI 48106-1500

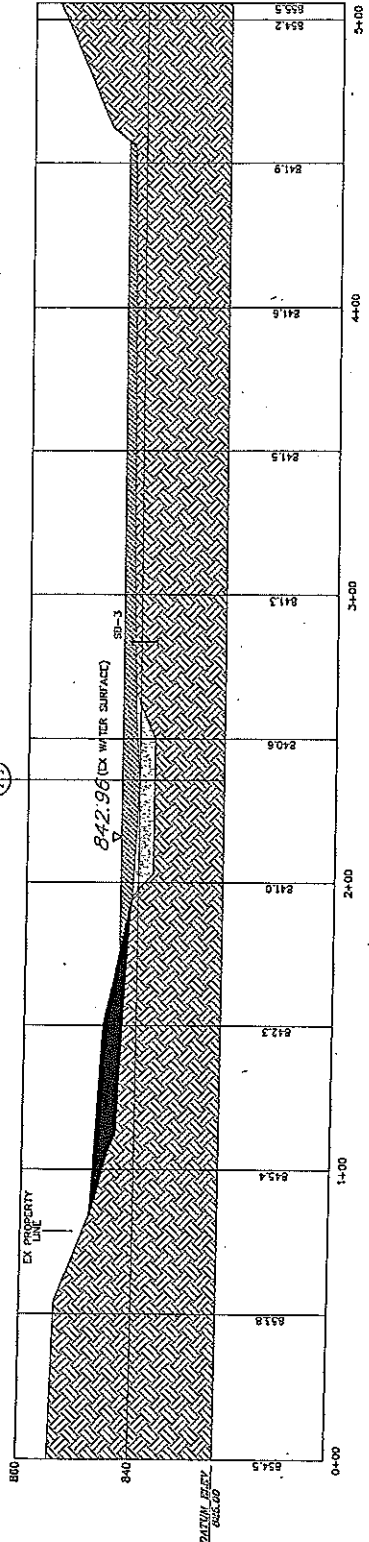
MILL CREEK DAM REMOVAL  
VILLAGE OF DEXTER, MICHIGAN  
STEAM CROSS SECTIONS 3 & 4

DATE 12/9/02  
SHEET 37  
PROJECT 11/13/2007  
37 OF 42



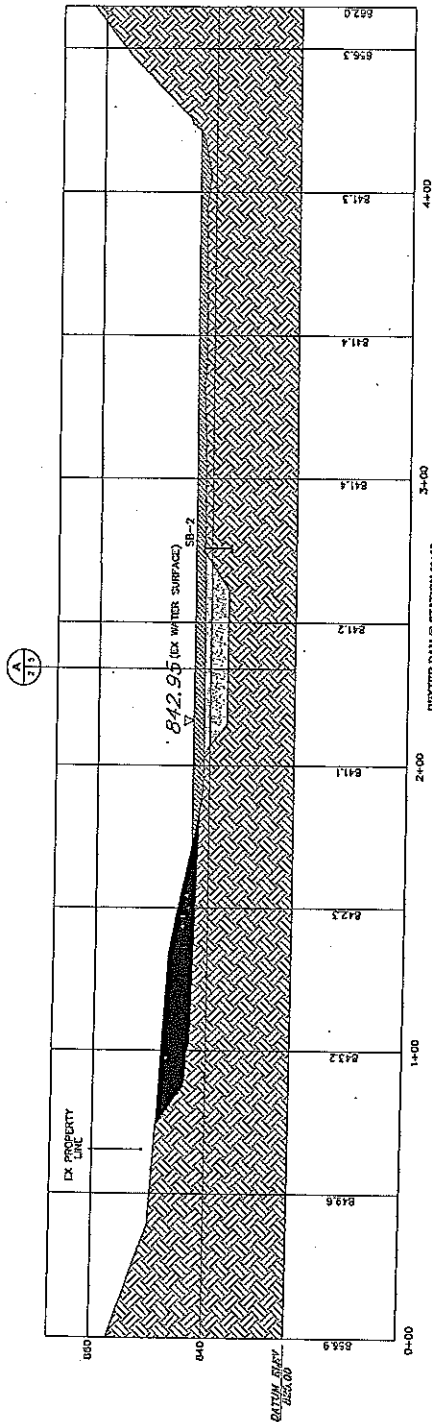
DEXTER DAM @ STATION 7+53  
SECTION 3  
SCALE: H = 1"=10'  
V = 1"=10'

SECTION 3

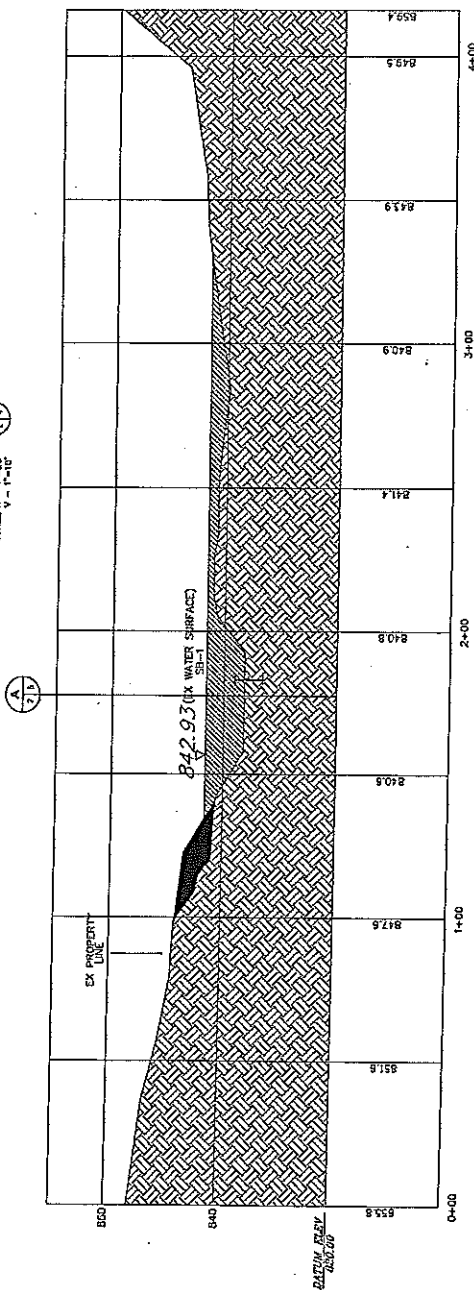


DEXTER DAM @ STATION 9+25  
SECTION 4  
SCALE: H = 1"=10'  
V = 1"=10'

SECTION 4



SECTION  
SCALE: H = 1"=20'  
V = 1"=10'



SECTION  
SCALE: H = 1"=20'  
V = 1"=10'

LEGEND

- APPROXIMATE GRADE ANTICIPATED FOR PROPOSED ELEVATION OF ROCK SILLS/GRATE CONTROLS
- EXISTING GROUND
- EXISTING WATER LEVEL
- SEDIMENT TO BE EXCAVATED
- PROPOSED FILL AREA
- EXTENT OF PROJECTED SEDIMENT ACCUMULATION AS DETERMINED ELEVATION
- SEDIMENT PROFILE LOCATION
- ROCK STRUCTURE
- PROFILE LOCATION (SEE SHEET 5 FOR PROFILE)
- PROFILE LOCATION
- LOCATION IN PLANVIEW
- SHEET 6 OF CROSS SECTION

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SUBMITTED TO		DATE	
DRAWN BY			
CHECKED BY			
APPROVED BY			
PROJECT NO.		12940224	
SHEET NO.		38	
DATE		11/13/2007	
PROJECT NAME		MILL CREEK DAM REMOVAL VILLAGE OF DEXTER, MICHIGAN	
PROJECT LOCATION		STREAM CROSS SECTIONS 5 & 6	
SHEET NO. OF 42		30 OF 42	

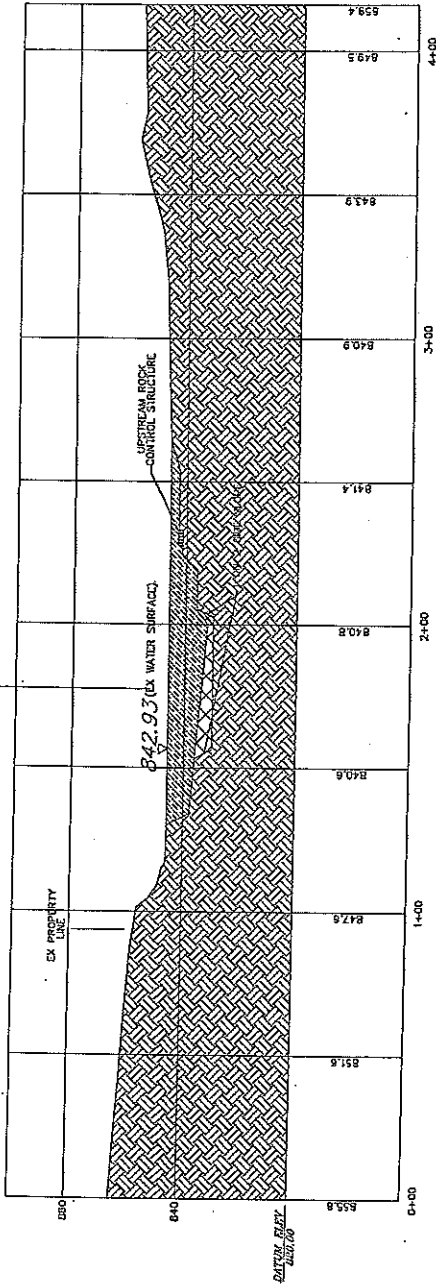
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UNITED STATES OF AMERICA  
NATIONAL ACADEMY OF SCIENCES  
NATIONAL RESEARCH COUNCIL ON ENVIRONMENTAL SCIENCES  
NATIONAL RESEARCH COUNCIL ON POLLUTION PREVENTION AND CONTROL

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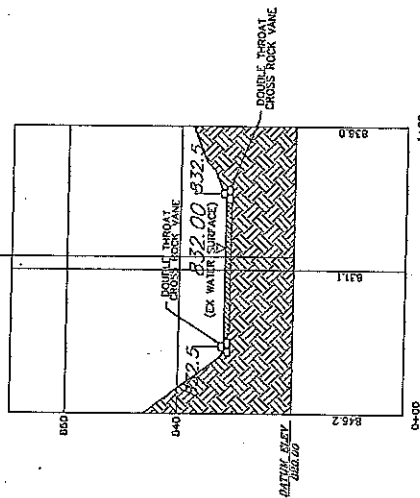
TRANSPORTATION AND  
FLOOD HAZARD MANAGEMENT UNIT



DEXTER DAM @ STATION 16+26

SECTION  
SCALE: H = 1"=50'  
V = 1"=10'

SECTION  
SCALE: H = 1"=50'  
V = 1"=10'



DEXTER DAM @ STATION 16+37

SECTION  
SCALE: H = 1"=50'  
V = 1"=10'

LEGEND

- APPROXIMATE GROUND ANTICIPATED AFTER DRAINAGE AND INSTALLATION OF ROCK SILLS/GRADE CONTROLS
- EXISTING GROUND
- EXISTING WATER LEVEL
- SEDIMENT TO BE EXCAVATED
- PROPOSED FILL AREA
- EXTENT OF PROPOSED SEDIMENT MOBILIZATION
- WATER LEVEL ELEVATION AS SURVEYED
- SEDIMENT PROBE LOCATION
- ROCK STRUCTURE
- PROFILE LOCATION (SEE SHEET 5 FOR PROFILE)
- PROFILE LETTER
- 30'-2'
- PROFILE LOCATION IN PLAN VIEW
- PROFILE LOCATION IN ELEVATION VIEW

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4000 UNIVERSITY AVENUE  
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TEL: 734.769.7000  
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MILL CREEK DAM REMOVAL  
VILLAGE OF DEXTER, MICHIGAN

STRAIN CROSS SECTIONS 7 & 8

DATE: 12/9/02  
DRAWN BY: 39  
CHECKED BY: 11/13/2007  
SCALE: 39 OF 42

## GENERAL NOTES

1. REFERENCE TO LEFT AND RIGHT BANK IS FROM A PERSPECTIVE LOOKING DOWNSTREAM.
2. PLAN ELEVATIONS REFER TO NAVD83 DATUM.
3. ALL WORK IS TO BE CONDUCTED DURING PERIODS OF LOW FLOW. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
4. A TEMPORARY ACCESS ROAD (TAR) SHALL BE CONSTRUCTED TO GAIN ACCESS TO THE DAM AND SHALL SERVE AS A TEMPORARY SHOULDER CONTROL STRUCTURE UNTIL SEDIMENT IS REMOVED.

5. THE TOP ELEVATION OF THE TAR SHALL BE MAINTAINED AT LEAST ONE FOOT BELOW WATER SURFACE DURING DAM BREACH AND DOWNTURNING.
6. BROKEN CONCRETE RESULTING FROM THE BREACH AND DAM REMOVAL OR FROM OTHER SOURCES MAY BE USED FOR THE LOWEST LAYER OF ROCK IN EACH ROCK STRUCTURE. NO MATERIAL SHALL BE USED ABOVE THE BOTTOM LAYER. ANY EXPOSED REBAR SHALL BE CUT OFF AT THE FACE OF THE MATERIAL, AND DISPOSED OF OFF SITE. THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES (METAL, SHEET PILE, RUBBER, ETC.)

## CONSTRUCTION NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2003 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE PROPOSAL AND PLAN.
2. CONSTRUCTION IS ANTICIPATED TO REQUIRE HYDRAULIC EXCAVATOR WITH HYDRAULIC THUMB, HYDRAULIC SHEAR FOR CUTTING AND REMOVAL OF SHEET PILES, LONG REACH BOOM FOR THE REMOVAL OF IMPOUNDED SEDIMENT AND LOGSKIDDER FOR GRADING SEDIMENT IN FILL AREAS. CONSTRUCTION WAYS WILL BE REQUIRED TO WORK ON SOFT SOILS.
3. ONCE THE TEMPORARY ACCESS ROAD AND TEMPORARY SEDIMENT TRAP ARE CONSTRUCTED, ACCESS TO THE DAM SHALL BE REMOVED AND PLACED IN DESIGNATED FILL AREA ON A REGULAR BASIS.
4. DAM RUBBLE AND MATERIAL GENERATED FROM REMOVAL OF THE TEMPORARY ACCESS ROAD SHALL BE USED FOR BANK AND CHANNEL STABILIZATION AFTER DAM HAS BEEN COMPLETELY REMOVED.
5. THE LOCATION AND SIZE OF COPS IN THE ROCK BILLS AND ROCK STRUCTURES SHALL BE AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
6. GRAVEL REMOVED FOR THE PLACEMENT OF FOOTER ROCKS SHALL BE USED AS BACKFILL BETWEEN ROCK IN THE ROCK STRUCTURES AS DIRECTED BY THE ENGINEER.

## SOIL EROSION AND SEDIMENT CONTROL NOTES

1. TEMPORARY MEASURES
  - A. PLACE REINFORCED SILT FENCING AROUND PROPOSED FILL AREA PRIOR TO EXCAVATION OPERATIONS. REINFORCED SILT FENCING SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. SEDIMENT OR RUNOFF FROM THE SEDIMENT SHALL BE CONTAINED AND NOT PERMITTED TO ENTER THE STREAM. SEDIMENT SHALL BE ALLOWED TO REENTER THE STREAM.
  - B. STAKE AND FLAG CONTRACTORS ENTRANCE, STREAM ACCESS POINTS, AND MATERIALS LAYDOWN/FUELING AREAS. CLEAR AND GRASS AS REQUIRED.
  - C. ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
2. PERMANENT MEASURES
  - A. ALL DISTURBED AREAS SHALL BE FINAL GRADED, TOPSOILED, SEED, AND MULCHED ACCORDING TO THE SPECIFICATIONS. A MINIMUM OF 4-INCHES OF TOPSOIL SHALL BE USED FOR ALL AREAS.
  - B. UPON COMPLETION OF SEDIMENT PLACEMENT IN THE PROPOSED FILL AREA, THE SEDIMENT SHALL BE ALLOWED TO GRASS SUFFICIENTLY TO ALLOW FOR FINAL GRADING OF THE SEDIMENT. THE REINFORCED SILT FENCING SHALL THEN BE REMOVED AND THE AREA FINAL GRADED. A LAYER OF ORANGE PLASTIC MESH SNOW FENCING MATERIAL SHALL THEN BE PLACED ON THE TOP SURFACE OF THE SEDIMENT. 8 INCHES OF IMPORTED CLEAN FILL MATERIAL SHALL THEN BE PLACED OVER THE ORANGE MESH. THE ORANGE MESH SHALL BE PLACED OVER THE FILL AREA. UPON PROJECT COMPLETION, ALL SEDIMENT REMOVED FROM THE STREAM SHALL BE COVERED WITH ORANGE PLASTIC MESH AND SHALL BE A MINIMUM OF 12 INCHES BELOW GRADE.
  - C. RUBBLE FROM DAM WILL BE USED FOR STREAM BANK STABILIZATION TO PROTECT THE TOE OF THE STREAM ALONG LEFT BANK AS SHOWN ON THE PLAN.
3. ACCESS TO THE IN-STREAM WORK AREAS WILL BE LIMITED TO REQUIRED EXCAVATION EQUIPMENT. EQUIPMENT SHALL ENTER AND LEAVE THE STREAM AT ONLY THE LOCATIONS SHOWN. NO RE-FUELING BE PERMITTED IN THE STREAM. EQUIPMENT SHALL NOT LEAK FUEL, OIL, OR OTHER FLAMMABLE LIQUIDS INTO THE STREAM. PREVENTION, CONTAINMENT AND COUNTERMEASURES PLAN AND KIT ON-SITE AT ALL TIMES.

## CONSTRUCTION SEQUENCE

ACCESS TO THE DAM WILL BE MADE FROM THE LEFT BANK FROM THE ROAD RIGHT OF WAY AS SHOWN.

## DAM REMOVAL

1. CONSTRUCT ENTRANCE ROAD AND STAGING AREA INCLUDING TREE REMOVAL AND GRADING AS REQUIRED. PLACE REINFORCED SILT FENCING AS SHOWN FOR THE DESIGNATED FILL AREA.
2. CONSTRUCT TEMPORARY ACCESS ROAD (TAR) FROM THE LEFT BANK TO RIGHT BANK. WORKING FROM TAR, EXCAVATE SEDIMENT FROM THE PROPOSED CHANNEL. EXCAVATE THE TAR AND THE EXISTING DAM. REMOVE SEDIMENT FROM THE CHANNEL UPSTREAM OF THE TAR TO CREATE THE TEMPORARY DAM AND REMOVED RUP. ALL EXCAVATED MATERIAL RESULTING FROM CONSTRUCTION OF THE TAR AND REMOVAL OF SEDIMENT FROM THE CHANNEL SHALL BE PLACED IN THE DESIGNATED FILL AREA.
3. WORKING FROM TAR, REMOVE DAM SECTION 1 AT ONE FOOT INTERVALS TO ELEVATION 841.0. AS DOWNTURNING BEGINS, MAINTAIN TOP OF TAR ELEVATION AT ONE FOOT BELOW WATER SURFACE. REMOVE SEDIMENT AS IT ACCUMULATES UPSTREAM OF TAR AND UPSTREAM OF THE EXISTING DAM AND PLACE IN DESIGNATED FILL AREA. UPON REMOVAL OF A SECTION OF THE DAM, APPROVAL FROM THE ENGINEER SHALL BE OBTAINED BEFORE REMOVAL OF THE NEXT SECTION IS BEGUN.
4. CONTINUE REMOVING SEDIMENT AS NEEDED. UPON APPROVAL OF THE ENGINEER, REMOVE DAM SECTION 2 AT ONE FOOT INTERVALS TO ELEVATION 832.0.
5. AFTER THE SIDE CHANNEL ALONG RIGHT BANK IS DEWATERED, CONSTRUCT UPSTREAM ROCK CONTROL STRUCTURE ACROSS THE SIDE CHANNEL AND EXTEND ACROSS THE MAIN CHANNEL AS SHOWN. STRUCTURE SHALL BE KEYED INTO BOTTOM OF CHANNEL.
6. CONTINUE REMOVING SEDIMENT AS NEEDED AND PLACE IN DESIGNATED FILL AREA. CONTINUE REMOVING TOP OF TAR TO MAINTAIN TOP ELEVATION ONE FOOT BELOW WATER SURFACE.
7. UPON APPROVAL OF THE ENGINEER, REMOVE DAM SECTION 3 AT ONE FOOT INTERVALS TO ELEVATION 827.0 AND PLACE RUBBLE ALONG CHANNEL EDGE FOR BANK PROTECTION.
8. CONTINUE REMOVING SEDIMENT AS IT ACCUMULATES AND PLACE IN DESIGNATED FILL AREA. UPON RECEIVING APPROVAL OF THE ENGINEER, REMOVE DAM SECTION 4 AT ONE FOOT INTERVALS TO ELEVATION 824.0 AND PLACE RUBBLE ALONG CHANNEL EDGE FOR BANK PROTECTION.
9. AFTER REMOVAL OF DAM SECTION 4 THE IMPOUNDMENT SHOULD BE COMPLETELY DEWATERED. REMOVE ANY REMAINING PORTIONS OF THE DAM (SECTIONS 5 AND 6). USE DAM RUBBLE FOR BANK AND CHANNEL STABILIZATION. REMOVE ACCUMULATED SEDIMENT FROM TRAP AND PLACE IN DESIGNATED FILL AREA.
10. CONTINUE REMOVING SEDIMENT AS NEEDED AND PLACE IN DESIGNATED FILL AREAS. WORKING TOWARDS LEFT BANK REMOVE TEMPORARY ACCESS ROAD TO THE FINAL GRADE. PLACE MATERIAL REMOVED FROM THE TAR ALONG DAMS AS NEEDED FOR PROTECTION.
11. COMPLETE FINAL GRADING AND STABILIZATION OF ALL DISTURBED AREAS.

## ROCK STEP STRUCTURES

ACCESS TO MILL CREEK DOWNSTREAM OF THE BRIDGE AND APRON SHALL BE FROM THE RIGHT BANK AT HARBOR PARK ONLY.

1. THE DOUBLE THROAT ROCK CROSS VAN STRUCTURE SHALL BE CONSTRUCTED PRIOR TO THE REMOVAL OF THE FIRST PORTION OF THE DAM AND KEYED TO THE STREAM BOTTOM.
2. THE ROCK BILL AT THE DOWNSTREAM END OF THE EXISTING GROUTED CONCRETE APRON SHALL BE CONSTRUCTED PRIOR TO THE REMOVAL OF THE FIRST PORTION OF THE DAM. THE SEDIMENT SHALL BE REMOVED FROM THE SCOUR POOL DOWNSTREAM OF THE APRON PRIOR TO PLACING THE ROCK GILL STRUCTURE AND THE ROCK BILL KEYED TO THE CHANNEL BOTTOM. REMOVED SEDIMENT SHALL BE PLACED IN THE DESIGNATED FILL AREA.
3. UPSTREAM ROCK CONTROL STRUCTURE SHALL BE CONSTRUCTED AS OUTLINED ABOVE DURING THE DAM REMOVAL SEQUENCE.
4. ROCK BILL AT THE UPSTREAM FACE OF EXISTING GROUTED APRON IS LOCATED AT THE EXISTING DAM STRUCTURE AND SHALL BE PLACED IMMEDIATELY AFTER THE DAM REMOVAL IS COMPLETED.
5. SEDIMENT WILL ACCUMULATE IN THE SCOUR POOL DOWNSTREAM OF THE ROCK BILL STRUCTURE AND AROUND THE DOUBLE THROAT ROCK CROSS VAN STRUCTURE AS THE DAM IS REMOVED. AS THE DAM IS REMOVED, THE SEDIMENT WILL BE PLACED IN THE DESIGNATED FILL AREA WHEN DIRECTED BY THE ENGINEER. ACCESS TO THESE AREAS SHALL BE MAINTAINED DURING THE LIFE OF THE CONTRACT TO FACILITATE SEDIMENT REMOVAL.
6. RESTORE ALL DISTURBED AREAS AS SOON AS POSSIBLE.

RECEIVED

NOV 16 2007

TRANSPORTATION AND  
FLOOD HAZARD MANAGEMENT UNIT

URS

AN IRVING-CLOUD COMPANY  
10000 W. 10TH AVE., SUITE 100  
DENVER, CO 80202-2500  
TEL: 303.733.1000  
WWW.URS.COM

DATE	BY	DESCRIPTION

NO.	REV.	DATE	DESCRIPTION

MILL CREEK DAM REMOVAL  
VILLAGE OF DEXTER, MICHIGAN

1294022-4

NOTES

42

11/13/2007

42 OF 42



**Donna Dettling**

**From:** Laura Rubin [lrubin@HRWC.ORG]  
**Sent:** Thursday, November 29, 2007 3:59 PM  
**To:** Jo Latimore; Elizabeth Riggs; Wade, Molly; Naud, Matthew; Sumedh Bahl; Allison Bishop; berkholza@wroads.org; braunscj@michigan.gov; bredinj@michigan.gov; burrou15@msu.edu; Donna Dettling; dhibbs@barr.com; dlewan@cwaplan.com; dtilton@ectinc.com; eustasy@umich.edu; fetcarrior@comcast.net; freiburg@michigan.gov; frymw@michigan.gov; hansus1@michigan.gov; hayesdan@msu.edu; jeff\_schaeffer@usgs.gov; JHegarty@preinnewhof.com; Laura Rubin; micmoore@umich.edu; millpond89@comcast.net; mjwiley@umich.edu; purris@wroads.org; SALLEEJ@michigan.gov; sbell@limino.com; schrammr@michigan.gov; sdlerks@jfnw.com; seelbach@umich.edu; shorkeyb@wroads.org; Suttonsl@michigan.gov  
**Subject:** FW: MDEQ-LWMD Transportation Public Notice Posting 07-81-0070-P

Here is the permit application for the removal of the Dexter (Mill Pond) Dam. We'll be calling for a public meeting to allow for questions and answers. I'll let you know when it is scheduled.

Laura

Laura Rubin  
 Director  
 Huron River Watershed Council  
 1100 N. Main St Suite 210  
 Ann Arbor, MI 48104  
 734.769.5123  
[www.hrwc.org](http://www.hrwc.org)

**From:** DEQ-LWM-TFHM DEQ-LWM-TFHM [mailto:DEQ-LWM-TFHM@michigan.gov]  
**Sent:** Tuesday, November 27, 2007 4:11 PM  
**To:** elston.sue@epa.gov; Kowal.Kathleen@epamail.epa.gov; bobrinj@eWashtenaw.org; fleecer@eWashtenaw.org; kestenbauml@eWashtenaw.org; barbara\_hosler@fws.gov; Laura Rubin; dennis.rice@mi.nacdn.net; Mitchell Adelman; Jeffrey Braunscheidel; Patrick Brennan; David Dominic; Matthew Fry; Sharon Hanshue; John Halsey; Colleen O'keefe; Daniel Rockafellow; James Sallee; Lori Sargent; Debora Snell; Paul Wessel; info@twp.scio.mi.us; michael\_donahue@urscorp.com; mike\_tarazi@urscorp.com; REGMDEQ.LRE\_RegMDEQ@usace.army.mil; hodgesa@wroads.org  
**Subject:** MDEQ-LWMD Transportation Public Notice Posting 07-81-0070-P

Michigan Department of Environmental Quality (MDEQ)  
 Land and Water Management Division (LWMD)  
 Transportation Public Notice Postings

NOTE: The Public Notice Link will need to be viewed using the HTML option, under View on your menu bar. If you try to open the link with the Plain Text option you will receive an error.

Due to budget cuts, the LWMD of the MDEQ will be sending announcements of Public Notices for projects in your area via e-mail.

Do not send comments on public notices directly to this e-mail. Please direct questions or comments to Alex Sanchez at (517) 335-3473 or e-mail [sancheab@michigan.gov](mailto:sancheab@michigan.gov). Thank you.

\*\*\*\*\*

County: Washtenaw  
 Public Notice Date: 11/27/2007  
 Application 07-81-0070-P  
 Applicant: Washtenaw County Road Commission  
 Project Location: T02S, R05E, Section 6, Scio Township, Washtenaw County  
 Regulatory Authority under NREPA: Part 301, Inland Lakes and Streams  
<http://www.deq.state.mi.us/lwmpnh-data/07810070pn.pdf>  
 The proposed project is bridge and dam removal

## Donna Dettling

**From:** Michael\_Donahue@URSCorp.com  
**Sent:** Monday, November 26, 2007 11:16 AM  
**To:** Donna Dettling  
**Subject:** Re: FW: Mill Pond drainage...

Donna- Thank you for forwarding the email from Mr. Bulley (11/13/07) concerning the dam removal/ stream restoration project. A proposed response is attached, and I believe it would be most appropriate to send it out under your name. You may want to make some revisions/ additions.

Please let me know if you have questions. Also, please advise if you would like me to be present at this evening's Council Meeting.

Thank you,

Mike Donahue

*(See attached file: Response- Dexter.doc)*

-----  
Michael J. Donahue, Ph.D.  
Vice President,  
Water Resources and  
Environmental Services

URS Corporation  
34555 West Twelve Mile Road  
Farmington Hills, MI 48331-5627

Tel: 248.553.9449  
Dir: 248.994.7431  
Fax: 248.553.9571  
Cell: 734.646.4638

michael\_donahue@urscorp.com

This e-mail and any attachments are confidential. If you receive this message in error or are not the intended recipient, you should not retain, distribute, disclose or use any of this information and you should destroy the e-mail and any attachments or copies.

"Donna Dettling" <ddettling@villageofdexter.org>

"Donna Dettling"  
<ddettling@villageofdexter.org>

11/14/2007 04:54 PM

To "Michael J. Donahue, Ph.D \E-mail\"  
<michael\_donahue@urscorp.com>

cc

SubjectFW: Mill Pond drainage...

Mike,

Can you address William Bulley's issues in the email below?

Also, Council asked for a copy of the response you sent to DEQ for the Bridge/Dam permit. Would there be value in attending our next Board meeting 11-26-07 to update them on the status of the permit???

Let me know what you think, and please copy me on your response to Mr.

11/26/2007  
P44

Bulley.

Donna Dettling  
Village Manager  
8140 Main Street  
Dexter, MI 48130  
Ph# 734-426-8303 X11  
Fax# 734-426-5614

-----Original Message-----

From: Courtney Nicholls  
Sent: Tuesday, November 13, 2007 12:13 PM  
To: Donna Dettling  
Subject: FW: Mill Pond drainage...

Would it be appropriate to forward this to Mike Donahue for a response?

-----Original Message-----

From: William Bulley [mailto:web@umich.edu]  
Sent: Tuesday, November 13, 2007 10:30 AM  
To: Courtney Nicholls  
Subject: Mill Pond drainage...

It has come to my attention that there is some sort of existing plan to drain the Mill Pond just West of Dexter village. This plan, if it exists, and if it comes to be a reality, would become a huge environmental mistake in my opinion. The least problem would be the rotten smell from dying and decaying muck revealed by the lower water levels. The far greater problem would be the destruction of a vast wetlands breeding area for many different birds and animals. In effect, their "homes" would have become a relative desert. I would hope any local environmental groups have been contacted about this potential disaster. If they haven't, they should be able to air their views before the final decision is made - unless the draining effort is already fully funded and planned. If the die is cast, then these same groups may have to take legal action. I cannot believe that these groups would give their approval if they are fully informed on all details.

If fixing the bridge above the dam requires removing the dam beneath, then that is an engineering problem. That the bridge needs to be repaired or replaced is a given, but removing the dam should be optional. I would very strongly urge the dam removal plans be given another airing. Again, if the die is cast, then legal action may be the only remaining method to save our wetlands.

I am a concerned Scio Township resident.

--

William Bulley

Email: web@umich.edu

11/26/2007

P45

Dear Mr. Bulley:

Thank you for your email of November 11 sharing thoughts and concerns about plans to remove the Dexter Mill Pond Dam as part of a larger bridge replacement/ road realignment project.

The Village Council decision to support removal of the dam was made in partnership with the Washtenaw County Road Commission (the lead on the overall project) and in light of an extensive examination of anticipated short and long- term environmental implications of the removal.

Our dam removal/ stream restoration plan involves replacing the dam with a series of natural rock structures that will essentially serve as a series of "steps" facilitating the flow of water from the current impoundment to the main stem of the Huron River.

Ecological improvement is the driving force: our stream restoration plan is expected to yield substantial improvements in the environmental quality of the watershed. Among others, these include restoring natural stream flow and sediment transport; re-establishing fish passage between the currently impounded area and the main stem of the Huron River; improving fish and wildlife habitat; improving water quality (temperature and oxygen content); and improving aesthetics and various active and passive recreational opportunities.

Survey/ mapping work completed to date indicates that a modest increase in wetland acreage will result from the project. Coupled with water quality improvements from the return to natural stream flow conditions, improvements to the health and vitality of current fish and wildlife populations are anticipated.

Our plan calls for removal of the dam in increments over an extended period, resulting in a gradual adjustment of the water level in the impoundment until the creek "re-discovers" its natural course. Experience has shown that significant odor problems are unlikely and, as the water levels adjust, vegetation will quickly become established.

I do appreciate your comments and hope this explanation is helpful. Should you wish further information, I welcome a call.



300 N. WASHINGTON SQ.  
LANSING, MI 48913

CUSTOMER  
ASSISTANCE CENTER  
517 373 9808

WWW.MICHIGAN.ORG

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Guardian Industries Corp.

MICHIGAN ECONOMIC DEVELOPMENT CORPORATION

AGENDA 12-10-07

ITEM H-1

November 29, 2007

Ms. Donna Dettling  
Village Manager  
Village of Dexter  
8140 Main Street  
Dexter, Michigan 48130-1092

Dear Ms. Dettling:

The Michigan Economic Development Corporation has received the additional information requested for the Village of Dexter's Michigan CDBG grant MSC 203030-EDIG, the Downtown Parking Improvements Project.

The information submitted is satisfactory, and we now consider this project to be complete and closed as evidenced by the attached Certificate of Completion. The national objective finding that was issued following the monitoring visit is resolved.

The Michigan Economic Development Corporation reserves the right to reopen this grant in the event of future monitoring by the U.S. Department of Housing and Urban Development, and instances of noncompliance by the Grantee.

Should any questions arise, please contact our office at (517) 373-6213.

Sincerely,

*Mary Kramer*

Mary Kramer, Specialist  
CDBG Program

cc: Courtney Nicholls (via email)  
CDBG File



# MICHIGAN ECONOMIC DEVELOPMENT CORPORATION

300 N. WASHINGTON SQ.  
LANSING, MI 48913

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517 373-6808

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## CERTIFICATE OF COMPLETION - MICHIGAN CDBG PROGRAM

**Grantee:** Dexter Village

**Grant Number:** MSC 203030-EDIG

**Project:** Downtown Parking  
Improvements Project

**Approved Grant Amount:** \$219,164

**Term of Work Performance:** March 1, 2005 – February 28, 2007

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Wayne State University

MICHAEL B. STAEBLER  
Pepper Hamilton LLP

JENNIS R. TOFFOLO  
Oakland County

PETER S. WALTERS  
Guardian Industries Corp.

## FINAL STATEMENT OF GRANT COSTS

### Project Activities

### Approved Costs

Parking Improvements, Lighting, Landscaping  
Contingencies

\$ 180,579  
38,585

TOTAL

\$ 219,164

### FOR ECONOMIC DEVELOPMENT PROJECTS:

Projected Job Creation/Retention:	21 FTE
Projected Jobs - Low and Moderate Income:	11 FTE
Actual Jobs Created/Retained:	21 FTE
Actual Jobs - Low and Moderate Income:	16 FTE

### Remarks:

The Michigan Economic Development Corporation hereby certifies that all project activities undertaken by the Grantee have been carried out in accordance with the Michigan CDBG Grant Agreement. The project is considered to be complete and the project files are hereby closed.

Mary Kramer  
Signature of Authorized Official

11-29-07  
Date

Donna Dettling

From: James Carson [jcarson@aiserv.net]  
 Sent: Wednesday, November 28, 2007 5:37 PM  
 To: Donna Dettling  
 Cc: Jim Carson  
 Subject: Fw: Redevelopment Workshop

AGENDA 12-10-07

ITEM H-2

Hi Donna,

I received notice of this workshop today via e-mail and plan on attending. Even though our re-development has already begun this workshop could really be beneficial for future re-development opportunities that could come our way.

Could you please include this communication in our next council meeting packet and feel free to pass it on to other boards or commissions that you feel might be interested.

If others were interested in attending maybe we could ride share that morning.

Regards,  
 Jim Carson

Subject: Redevelopment Workshop

## Navigate your community back on course to redevelopment!

Is YOUR community ready for redevelopment? Developers want predictability, buy-in from elected and appointed officials, and community support for their projects. Built out communities that are seeking investors and developers CAN capitalize on community assets, streamline review processes, and attract great projects by applying the techniques acquired at this workshop.

Competition among communities for redevelopment dollars is steep, and positioning your community as a player that knows the rules of the development game will pay economic development dividends.

This workshop was created for planning directors, staff planners, economic development specialists, and planning consultants to provide the necessary tools to refocus your community's development challenges and attract redevelopment investment.

Whether you are a member of the Michigan Suburbs Alliance, a planning official, or a consultant and your community is struggling with redevelopment, learn the philosophy, concepts, and best practice standards that are the foundation of the nationally recognized Redevelopment Ready Communities™ program (approaches that can be applied to any community seeking to attract redevelopment investment) and learn what it takes to redevelop in older communities.

Wednesday, January 16, 2008  
 9:00 a.m.—11:30 a.m. (Registration begins at 8:30 a.m.)  
 Michigan First Credit Union, 27000 Evergreen  
 Lathrup Village, MI 48076

Workshop Fee: \$10.00. Registration includes instruction, handout materials, and breakfast.

Complete one form for each workshop participant (please fax [734-913-2061] or mail to MAP by January 7, 2008).

Name \_\_\_\_\_  
 Community or Company \_\_\_\_\_  
 Address \_\_\_\_\_ City \_\_\_\_\_  
 State \_\_\_\_\_ Zip \_\_\_\_\_





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FRED J. VEIGEL  
VICE CHAIR

DAVID E. RUTLEDGE  
MEMBER November 21<sup>st</sup> 2007

WASHTENAW COUNTY ITEM H-3

BOARD OF COUNTY ROAD COMMISSIONERS

555 NORTH ZEEB ROAD  
ANN ARBOR, MICHIGAN 48103

STEVEN M. PUURI, P.E.  
MANAGING DIRECTOR

ROY D. TOWNSEND, P.E.  
DIRECTOR OF ENGINEERING/  
COUNTY HIGHWAY ENGINEER

JAMES D. HARMON, P.E.  
DIRECTOR OF OPERATIONS

TELEPHONE (734) 761-1500  
FAX: (734) 761-3239

Joseph K. Maynard, P.E.  
Washtenaw Engineering Company  
P.O. Box 1128  
Ann Arbor, MI 48106

COPY

Regarding: Proposed Dexter Retirement Community PUD, WCRC Application No. 5669 & 5670

Dear Mr. Maynard:

We are in receipt of the proposed road improvement plans as prepared by Washtenaw Engineering Company dated August 28<sup>th</sup> 2007, last revised October 31<sup>st</sup> 2007, stamped "received" by the Road Commission on November 7<sup>th</sup> 2007. These sets of plans are in reasonable conformity with the Washtenaw County Road Commission's requirements. A draft Road Improvement Agreement was sent to Ms. Kate Collins for review and approval. We haven't received any correspondence to date.

A permit for this work can be issued after the following items are submitted:

1. An up-dated copy of the engineer's estimate for the utility work inside of the Island Lake Road/ Dexter-Pinckney Road right-of-way.
2. For application no. 5669, the Road Improvements and commercial driveway, an Inspection Fee in the amount of \$5,186.00.
3. For application no. 5670, the utility work inside of the Dexter-Pinckney Road/ Island Lake Road right of way, an Inspection Fee in the amount of 3% of the approved cost estimate per item no. 1.
4. Any past due invoices related to the assigned work shall be paid in full prior to the permit being issued. Please note that receipt of payment for the past due invoices at the time of issuance of permits does not include current invoices, and the applicant will be billed for those then invoices. Please contact a WCRC clerk at 734-761-1500 ext 642 or ext 643 to assist you with this amount.
5. For application no. 5669, the Road Improvements and the commercial driveway, surety in the form a cashier's check in the amount of \$190,142.00 (\$172,857 + 10% contingency) or Irrevocable Letter of Credit from an accredited bank located in southeast Michigan for that same amount. Upon satisfactory completion of the work inside of the right of way, the surety will be refunded.
6. For application no. 5670, the utility work inside of the Island Lake Road/ Dexter-Pinckney Road right-of-way, surety in the form a cashier's check in the amount of the approved cost estimate of work or Irrevocable Letter of Credit from an accredited bank located in southeast Michigan for that same amount. Upon satisfactory completion of the work inside of the right of way, the surety will be refunded.
7. Acceptable Right-Of-Way Documentation. Please have your client contact me regarding this requirement.
8. An executed Road Improvement Agreement and confirmation of entry into Declaratory Judgment.
9. For the proposed closure of Island Lake Road, please provide items in accordance with section no. 11.4 a minimum of 20 business days (a month). We have received confirmation of support from Webster Township. In addition to the other items identified in section 11.4, please provide evidence of support from the Village of Dexter.

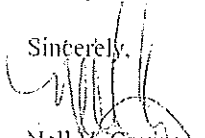
For Item No. 2, the engineer's estimate, please allow at least 10 business days prior to a permit being issued so that I may have sufficient time for review and comment. Item numbers 2 -6 shall be submitted to the Road Commission Offices at least three business days prior to the permit being issued. Both the applicant and contractor are required to sign the permit at the offices of the Road Commission prior to commencing work within the road right of way.

Item No.7, the Right of Way Documentation shall be submitted at least a 20 business days prior to the permit being issued so that Road Commission Staff may have sufficient time for review prior to recording. If the documentation has been deemed as unacceptable, it will be returned to the applicant or the designated representative with the deficiencies noted. Corrected documents shall be re-submitted for review by Road Commission Staff. Re-submittals may also take an additional 20 working days for review.

Proposed Dexter Retirement Community PUD / November 21<sup>st</sup> 2007

For Item No.8, two originally signed Road Improvement Agreements shall be submitted at least a 15 business days prior to the anticipated board meeting date so that Road Commission Staff may have sufficient time for review and comment. The board meeting schedules can be found on our website at [www.wcroads.org](http://www.wcroads.org). Execution of the Road Improvement Agreement and entry of Declaratory Judgment in Washtenaw County Circuit Court approving the Agreement are necessary conditions before issuance of permits. Thank you for the opportunity to comment on this development. If you have questions, I can be reached directly at (734) 827-9528 or [cavinessn@wcroads.org](mailto:cavinessn@wcroads.org).

Sincerely,



Nell V. Caviness  
Permits Engineer

cc: Kate Collins / United Methodist Retirement Community  
Jim Haussler/ Peters Building Company  
Bruce Pindzia, P.E. / Webster Township Engineer  
Village of Dexter Planning/ Engineering  
WCRC Planning/ Permits/ Traffic & Safety Section

**VILLAGE OF DEXTER** - COMMUNITY DEVELOPMENT OFFICE  
8140 Main Street • Dexter, Michigan 48130-1092 • (734) 426-8303 • Fax (734) 426-5614

ITEM I-1

**Memorandum**

To: Village Council  
Donna Dettling, Village Manager  
From: Allison Bishop, AICP, Community Development Manager  
Re: Report  
Date: December 10, 2007

**Article 6, Landscaping Standard Amendments**

A public hearing has been scheduled for January 7, 2008 to hear public comment on the proposed amendments to Article 6. The proposed amendments are essentially to remove the word endowment from the standards. The language is proposed to change from endowment fund to replacement program. If the amendments are recommended by the Planning Commission at the January meeting it is anticipated that the amendment will be before Council for adoption on January 14, 2008.

**ZBA**

**Dairy Queen** – The applicant, Mike Hoelzer (AR Brouwer), has requested that the variance requests for 8041 Main Street be postponed indefinitely. The applicant has indicated that based on the outcome of the ZBA meeting he is reconsidering his options at this time and is not sure how to proceed. The applicant indicated that he will get back with me in January to let me know whether or not he was prepared to move forward.

Please feel free to contact me prior to the meeting with questions.  
Thank you,



	First Meeting of Month	Second Meeting of Month
	01-14-08	01-28-08
January	Village Manager Treasurer WAVE Representative	Village Manager Sheriff Department Library Board Representative
	02-11-08	02-25-08
February	Village Manager DPS Supervisor WATS Policy Representative	Village Manager DACC Marketing Director
	03-10-08	03-24-08
March	Village Manager Zoning Administrator Planning Commission Chair	Village Manager Park Board Chair DAHS&M Representative
	04-14-08	04-28-08
April	Village Manager Downtown Development Chair Treasurer	Village Manager Sheriff Department Tree Board
	05-12-08	Tuesday '05-27-08
May	Village Manager DPS Supervisor Farmer's Market Representative	Village Manager HRWC Representative WAVE Representative
	06-09-08	06-23-08
June	Village Manager Zoning Administrator DAFD Representative	Village Manager Library Board Representative DACC Marketing Director
	07-14-08	07-28-08
July	Village Manager Treasurer WATS Policy Representative	Village Manager Sheriff Department DPS Supervisor
	08-11-08	08-25-08
August	Village Manager Tree Board	Village Manager
	09-8-08	09-22-08
September	Village Manager Zoning Administrator Planning Commission Chair	Village Manager Park Board Chair
	10-13-08	10-27-08
October	Village Manager HRWC Representative	Village Manager Sheriff Department Treasurer
	11-10-08	11-24-08
November	Village Manager Downtown Development Chair DAFD Representative	Village Manager DPS Supervisor Farmer's Market Representative
	12-8-08	12-22-2008
December	Village Manager Zoning Administrator	Village Manager

ITEM I-2



# UTILITIES SUBCOMMITTEE MINUTES

THE VILLAGE OF DEXTER  
MONDAY December 3, 2007

5:00pm

At Village Office 8123 Main Street

AGENDA 12-10-07

ITEM I-3

Attendance: Joe Semifero, Shawn Keough, Ed Lobdell, Rhett Gronevelt, Christine Cale, and Donna Dettling

The Committee discussed the meeting summary from the DEQ meeting of 11-19-07; a copy is attached to the minutes for your review. For the water system, OHM provided additional information to MDEQ that demonstrated that the maximum day usage is 1.15 MGD as opposed to 1.4 MGD. A work sheet for 2006 and 2007 usage is also enclosed for your review. There was a brief discussion on the progress of the 5<sup>th</sup> Well. One additional 5" test Well has been installed, and the Village is waiting for approval from MDEQ to reduce the isolation radius from 200 feet to 100 feet before the 12" test Well is installed. The DEQ is anxious to review the 24 hour pump test from the 12" test Well site.

The Committee discussed the implications of DEQ meeting summary for the sewer system that indicates the blending used by the village during wet weather flows violates the Village's permit obligation. MDEQ will be issuing a letter to clarify this matter and provide corrective action to be taken by the Village. A copy of this letter will be provided to Council.

The Committee discussed the options provided by MDEQ. One option is additional data analysis that proves that the manhole rehabilitation project reduced the flows to the WWTP during wet weather. A summary of the manhole rehabilitation project that was completed last winter is included with the minutes. OHM provided a scope of services to complete this analysis and reviewed the proposed scope of services with the Committee. A copy of the proposal is attached to the minutes as well as included as item L-10 and the Committee recommends acceptance of the proposal at the meeting on December 10, 2007. The second option that will be developed concurrently with the additional analysis data is an Administrative Consent Order. The Village will provide the DEQ with a realistic schedule to make improvements to the sewer system. The DEQ will develop language to include in the order that will require enforcement consequences if the improvements to the sewer system are not implemented according to this schedule.

The Committee discussed MDEQ's instance that mandatory water restrictions for 2008 summer peak water usage be implemented, as it is unlikely the new well will be online by June of 2008. MDEQ wants this additional safeguard of the water system. This would possibly be for one summer, and the committee is recommending that we implement the water restrictions and that the education process begin now.

Respectfully Submitted,  
Donna Dettling, Village Manager

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**UTILITY COMMITTEE**  
**MONDAY, DECEMBER 3, 2007**  
**5:00 p.m.**

- 1) Review Meeting Summary from the 11/19/07 meeting with MDEQ
- 2) OHM – Wastewater System Preliminary Engineering – Scope of Services
- 3) Water Restriction Options
  - Mandatory Water Restrictions
  - 2<sup>nd</sup> Meter Moratorium





## Meeting Summary

11/29/07

# OHM

Engineering Advisors

### Meeting with MDEQ – Act 399 and Part 41 Permits for the Village of Dexter

Time: Monday, November 19, 2007 1:00 PM

Location: MDEQ - Jackson District Office

<u>Attendees:</u>	Jon Russell, MDEQ	Donna Dettling, Village of Dexter
	Tiffany Myers, MDEQ	Ed Lobdell, Village of Dexter
	Bethel Skinker, MDEQ	Rhett Gronevelt, OHM
	Deb Snell, MDEQ	Christine Cale, OHM
	Jeff Antil, MDEQ	

#### Summary:

Due to developments within the Village that want to construct public water main and sanitary sewer as part of their site development (including Cedars of Dexter and Dexter Wellness Center), the Village has applied for Act 399 Water Permits and Part 41 Sewer Permits through the MDEQ. This meeting was held to discuss the necessary actions and timeframe for the approval of these permits to allow the developments to proceed with construction.

#### *Act 399 Water Permits*

1. The Village provided an update to the MDEQ regarding locating a new water supply. Drilling another test well is scheduled to begin on Monday, November 26, 2007, with the possibility of converting this well to a production well if the results from the 24-hr flow are positive. Bethel has provided approval for these activities.
2. Based on the information provided to the DEQ since our meeting on October 4, 2007, it was determined that the readings from the meter at the water treatment plant, not the wellfield, will be used to record daily water usage. Therefore, the current maximum day usage is 1.15 MGD (recorded on June 10, 2005) as opposed to 1.4 MGD.
3. Based on the water usage recorded by the meter at the WTP, the firm capacity/maximum day ratio is 100%, as opposed to 82% (determined using meter readings from the wellfield).
4. The Village, along with OHM, is assessing all water system needs. The MDEQ has requested a schedule for completion.

#### *Part 41 Sewer Permits*

1. The Village and OHM are working to complete the action items from the October 22, 2007 meeting with the MDEQ regarding the wastewater system and SRF project plan.
2. The main concern in issuing Part 41 permits is that the Village's WWTP has limited wet weather capacity. Although, no discharges from the WWTP have been reported as SSO's.
3. The Village has been blending during wet weather flows. DEQ realized that based on the definition of an SSO, blending at the WWTP during wet weather flows violates the Village's permit obligations, and the MDEQ is issuing a letter to clarify the appropriate actions and responsibility of the Village.
4. The MDEQ provided the Village with two potential options: 1) Provide data analysis that proves that the manhole rehabilitation project reduced the flows to the WWTP during wet weather, or 2) Establish an ACO between the MDEQ and the Village. While data analysis is being completed considering 12-months of flow monitoring data (as previously requested by the MDEQ at a meeting on October 22, 2007), the MDEQ is researching the possibility of establishing an ACO with the Village. The Village requested that this be considered because it is possible that the flow monitoring data will not reveal a significant reduction in wet weather flows. To expedite

the process, consideration of an ACO was requested. Based on the SSO definition, an ACO could be issued to the Village. Once the ACO is in place, Part 41 permits can be issued.

Action Items:

*Act 399 Water Permits*

1. The MDEQ has requested the following items regarding the water system:
  - a. Aquifer analysis following the pump test at potential site of the new well
  - b. Construction schedule of new well and connection to system
2. The Village needs to review and implement mandatory water restrictions until the new well comes online.

*Part 41 Sewer Permits*

1. As noted in a previous meeting, the DEQ has requested that an analysis be completed using 12 months of metering data showing the impact that the manhole rehabilitation project has had on the system. Depending on the results, Part 41 permits may be issued.
2. The DEQ will send a notice to the Village regarding blending that has occurred at the WWTP. The Village needs to report to the DEQ when blending occurs.
3. The DEQ will investigate the possibility of issuing an ACO to the Village, and notify the Village mid-December of the results.
4. OHM will provide the DEQ with the requested information regarding the SRF project plan, as requested at the meeting on Oct 22, 2007.

**WATER TREATED FOR 2006**

Water Filtration Plant				Ryan Drive Pump house			
WFP average MGD treated flow	WFP total monthly treated flow	WFP, Date for maximum flow	WFP, flow maximum MGD	WELLS, average MGD pumped	WELLS, total monthly MGD pumped	WELLS, Date for maximum pumpage	WELLS, MGD maximum pumpage
0.406	12,583	18-Jan	0.492	0.566	17,552	27-Jan	0.831
0.419	11,719	13-Feb	0.503	0.582	16,282	25-Feb	0.720
0.403	12,497	16-Mar	0.46	0.532	16,501	16-Mar	0.664
0.438	13,125	30-Apr	0.541	0.572	17,170	29-Apr	0.772
0.576	17,864	23-May	0.908	0.810	25,116	23-May	1.340
0.707	21,203	17-Jun	0.899	0.975	29,242	16-Jun	1.287
0.752	23,304	24-Jul	0.982	1.061	32,904	24-Jul	1.379
0.717	22,234	2-Aug	1.068	0.992	30,750	2-Aug	1.456
0.456	13,677	6-Sep	0.578	0.648	19,446	20-Sep	1.409
0.372	11,523	4-Oct	0.414	0.513	15,913	5-Oct	0.603
0.346	10,390	1-Nov	0.453	0.510	15,309	22-Nov	0.617
0.332	10,290	21-Dec	0.387	0.492	15,247	22-Dec	0.579
<b>0.494</b>	<b>180,409</b>		<b>0.540</b>	<b>0.688</b>	<b>251,432</b>		<b>0.971</b>
Possible factors affecting max day flows:							
8-02-06 - Contractor flushing new main for backl - several hydrants used for fire.							

**WATER TREATED FOR 2007**

Water Filtration Plant				Ryan Drive Pump house			
WFP average MGD treated flow	WFP total monthly treated flow	WFP, Date for maximum flow	WFP, flow maximum MGD	WELLS, average MGD pumped	WELLS, total monthly MGD pumped	WELLS, Date for maximum pumpage	WELLS, MGD maximum pumpage
0.348	10,788	31-Jan	0.408	0.521	16,150	21-Jan	1.132
0.375	10,509	14-Feb	0.446	0.546	15,296	2-Feb	0.611
0.443	13,748	23-Mar	0.497	0.638	19,779	23-Mar	0.801
0.411	12,317	22-Apr	0.473	0.636	19,084	4-Apr	1.294
0.549	17,018	24-May	0.792	0.804	24,915	24-May	1.164
0.784	23,508	15-Jun	1.087	1.213	36,403	15-Jun	1.961
0.851	26,375	15-Jul	1.151	1.310	40,601	15-Jul	1.772
0.634	19,652	1-Aug	1.006	0.944	29,263	3-Aug	1.572
0.608	18,240	5-Sep	0.813	0.904	27,121	5-Sep	1.315
<b>0.556</b>	<b>152,155</b>		<b>0.741</b>	<b>0.835</b>	<b>228,612</b>		<b>1.291</b>
Possible factors affecting max day flows:							
8-01-07 - Found open hydrant behind Stucci's, (landscapers) Flushed hydrants at high school to assist with copper issue.							
9-05-07 - Flushed several hydrants							

# Memorandum

**OHM**

Engineering Advisors

**Date:** December 6, 2007

**To:** Donna Dettling, Village Manager

**From:** Rhett Gronevelt, P.E.

**Re:** Summary of Manhole Rehabilitation project

Donna –

As you recall, a total of 77 manholes were rehabbed during the Village's Manhole Rehabilitation project in November and December 2006. The total cost for the project was \$137,884.35. Various methods were used to rehab the manholes including replacing manhole lids, grouting leaks in the manhole wall, wrapping manholes in waterproof heat shrinkable wraps, and lining manholes in cement.

The purpose of completing the Manhole Rehabilitation project was to reduce the amount of inflow and infiltration entering the wastewater system via the sanitary manholes. The rehabilitation techniques implemented as part of the project help to prevent stormwater (water that does not need to be treated) from entering the wastewater system. It was hoped that the rehabilitation would reduce the flow into the wastewater system by approximately 270 gpm.

At this time, we would like to confirm the effectiveness of the Manhole Rehabilitation project had on the overall wastewater system. To quantify the impact, we are proposing to complete a model of Dexter's wastewater system. This model takes into consideration the climatological effects (i.e. rainfall, etc) on the wastewater system. By using actual rainfall amounts and sewage flow data from the WWTP in 2005 (pre-rehabilitation) and 2007 (post-rehabilitation), OHM will be able to quantify the impact of the Manhole Rehabilitation project. This data will then be presented to the MDEQ with the potential of allowing more REUs into the system.

In addition, this model will provide the necessary information to appropriately size the proposed equalization basin for the Village. The MDEQ will consider this information in reviewing SRF funding in the Village.

Feel free to contact us if you need any further information.

November 30, 2007

Village of Dexter  
8123 Main Street  
Dexter, MI 48130

**OHM**

Engineering Advisors

Attn: Donna Dettling  
Village Manager

Re: Wastewater System Modeling – Storage Sizing & Rehabilitation Analysis  
Scope of Engineering Services

Dear Ms. Dettling:

Orchard, Hiltz & McCliment, Inc. (OHM) is pleased to submit this proposal for engineering services to perform wastewater system modeling. While it has been expected that modeling would be required to finalize the sizing of the proposed equalization basin at the time of the design, recent discussions with the Michigan Department of Environmental Quality (MDEQ) have accelerated the need for the modeling results..

### **Project Understanding**

The purpose of this proposal is to address some of the action items as a result of recent meetings with the MDEQ on October 22, 2007, and November 19, 2007. We propose to develop a model of the sanitary sewer system flows, based on data collected by the Parshall Flume meter at the WWTP during 2007. The model will then be run for a long period of flows to develop an equalization basin size using the 10-year storm event frequency criteria in MDEQ's policies.

A second model will be developed based on the 2005 WWTP flow metering data (pre-manhole rehabilitation), and a comparison made between the two models. The comparison shall determine the magnitude of the predicted wet weather flow decrease, as a result of the manhole rehabilitation. The flows will be converted to Residential Equivalent Units (REUs) to present to the MDEQ and provide evidence to assist with the issuance of Part 41 permits on the system. A more detailed description of the work plan follows.

### **Scope of Services**

The Village of Dexter is considering a sanitary equalization basin at the WWTP to store peak flows from wet weather events and equalize flows discharged to the WWTP. This will increase the Village's treatment capacity, enabling continued planned growth in the sewer system.

Traditional sizing approaches for an equalization basin involve collecting flow metering data from wet weather events and calibrating a hydrologic model to the observed inflow and infiltration (I/I) response from rain events. The model is then used to extrapolate the design flows for a 25-year, 24-hour storm, per the MDEQ Sanitary Sewer Overflow (SSO) Policy Statement. The drawback of this approach is that it does not account for antecedent moisture effects on the flows. The same size rain event produces a higher flow response in the sewer system when antecedent conditions are wet and a lower flow response when they are dry.

Frequently, the wetter condition is selected for sizing facilities in order to be conservative, which leads to over-sizing. This results in a higher capital cost than is necessary.

OHM proposes to utilize a new approach for sizing the equalization basin for the Village of Dexter. This approach uses a new hydrologic model called the i3D antecedent moisture model, which accounts for the variations in wetness conditions on the sewer flows. The model accurately simulates the variations in flow from wet and dry antecedent conditions and matches observed flow data very well. Once an accurate antecedent moisture model is developed, it can be used to size the storage using a frequency analysis. The frequency analysis is based on the MDEQ SSO Policy Statement, which allows sewer improvements to be sized for the 10-year frequency flows as an alternative to the 25-year, 24-hour storm. This eliminates the need to select a wetness condition for sizing the equalization basin, because the antecedent moisture model can be used to simulate a long-period of flows (i.e. 50 years), and then used to determine the storage volume that will not get exceeded statistically more often than once in ten years. It also eliminates many of the conservative assumptions that frequently lead to an over-sizing with the traditional approach. The MDEQ has accepted this approach on four other projects prepared by OHM. Two of the projects were previously sized based on a traditional approach that the community did not have confidence in, and the use of the antecedent moisture model resulted in substantial cost savings.

A second model will be developed based on the 2005 flow data, which is prior to the 2006 manhole rehabilitation work. A comparison will be made between the two models to determine the flow removal achieved by the rehabilitation program. We have developed this scope of services for the Sanitary Sewer System Modeling. This project includes the following specific tasks:

## **1. Development of Antecedent Moisture Models**

- Obtain flow meter and rainfall data for modeling. 2007 data is available electronically, and flows for key storms from 1-2 other years will be taken from the paper circular charts.
- Separate the diurnal flows from the I/I flow signal with the diurnal filter tool.
- Develop and calibrate the antecedent moisture model.
- Identify any atypical signals in the data that do not appear to be from rainfall dependent I/I (river inflow, large user sewerage flow variations, hydraulic effects, etc).
- Validate the models using a portion of the data excluded from the calibration process.
- Provide an evaluation of system characteristics based on model results (i.e. severity of wet response, severity of antecedent moisture variation).
- Prepare continuous plots of model fits.
- Prepare plots of model fits for 4 largest system events each year.

## **2. Frequency Analysis and EQ Basin Sizing**

- Collect long-term climatological data from a nearby National Weather Service station.
- Prepare long-term continuous model from historic climatological data.
- Perform frequency analysis for both peak flows and equalization storage volume.
- Compare peak flow frequency analysis to metered statistics (assuming long enough record of data is available) as an additional measure of model accuracy.
- Evaluate the required equalization storage volume sizing using several assumed WWTP capacities to produce a curve of required storage volume versus WWTP capacity.

- Using cost information from past studies, examine the cost effectiveness of WWTP upgrades on reductions in the required equalization storage volume.

#### **4. Manhole Rehabilitation Analysis**

- Convert March – July of 2005 flow chart data to digital format
- Develop a revised antecedent moisture model to the 2005 data
- Compare the two models to determine the projected flow reduction
- Convert the flow reduction to a residential equivalent unit basis (REUs).

#### **3. Report**

- Prepare a Sanitary Technical Memorandum that summarizes the findings and conclusions.
- Include plots of the continuous model fits, the accuracy of fit for large storms and the statistical frequency analysis.
- Meet with the Village to review the findings of the sanitary equalization basin sizing and present a draft of the technical memorandum.
- Incorporate any comments and finalize the Sanitary Equalization Basin Sizing Technical Memorandum.

#### **Deliverables**

OHM will provide the Village and MDEQ with copies of the final report that summarizes the findings and conclusions of the analysis.

#### **Schedule**

OHM can begin work on the project immediately upon authorization. We expect that tasks 1 -3 will be completed in 6 weeks, and we will hold a preliminary meeting with the Village to review the results. The final report will be completed within 2 weeks following the meeting, and submitted for the MDEQ for review by the end of January 2008.

#### **Additional Services**

In the event it becomes apparent that additional tasks will be required to complete the analysis, OHM will provide a separate proposal for professional services to the Village for approval prior to carrying out those items.

#### **Fee**

OHM proposes to provide the above outlined professional services for a Lump Sum fee of \$15,000.

#### **Contract Terms and Conditions**

The attached Standard Terms and Conditions, dated March 2003 and as shown as Exhibit 1, are incorporated into this proposal by reference. Section No. 7 is omitted per request of the Village.

We thank you for this opportunity to provide professional engineering services. Please do not hesitate to contact us if you have questions. Should you find our proposal acceptable, please execute both copies of the attached agreement and return one copy to us for our files.

Very truly yours,

**ORCHARD, HILTZ & McCLIMENT, INC.**



Rhett Gronevelt, P.E.

Client Representative

**Village of Dexter  
Sanitary Sewer System Modeling**

Accepted By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



**Sec. 58-39 Water restrictions.**

(a) Whenever the manager and or the supervisor of public services determines that the supply or pressure demand for water cannot be accommodated and general welfare is likely to be endangered, or conditions within the water system are likely to endanger the general welfare of the village, the village manager and/or the supervisor of public services shall determine that an emergency exists and prescribe the following emergency regulations which shall apply in the village for all properties connected to the village water system: Sprinkling of lawns and landscaping and all outdoor water use shall only be allowed for properties with even-numbered addresses on even-numbered dates within a month and for properties with odd-numbered addresses on odd-numbered dates within a month.

(b) Whenever the manager and/or the supervisor of public services determines that provisions in subsection (a) are not sufficient, or conditions within the water system of the village are likely to endanger the general welfare of the village, the following emergency regulations shall apply in the village for all properties connected to the village water system: Sprinkling of lawns and landscaping and all outdoor water use shall not be allowed.

(c) The village shall, within 24 hours of notification, cause these regulations to be posted at the village office and publicly announced by means of broadcasts or telecasts by the stations with a normal operating range covering the village, and may cause such announcement to be further declared in newspapers of general circulation when feasible. The regulations shall become effective immediately after notice of enforcement of the section as posted at the village offices. Upon notification that the emergency regulations are no longer necessary, the village shall cause a public announcement lifting the water restrictions.

(d) Any person, firm or corporation violating any provision of this section shall be deemed responsible for a civil infraction and will be responsible to pay a fine not to exceed \$500.00 for each violation.

(e) It shall be the responsibility of the village to enforce this section.

(f) Voluntary odd/even watering schedules will be implemented, as well as an aggressive public education effort in an attempt to impact peak water usage and even out water usage throughout the system.

(Ord. of 4-12-2004)

Secs. 58-40--58-55. Reserved.



**VILLAGE OF DEXTER**

ddettling@villageofdexter.org

8140 Main Street Dexter, MI 48130-1092

Phone (734)426-8303 ext 11 Fax (734)426-5614

**MEMO**

**To:** President Pro Tem Keough and Council Members  
**From:** Donna Dettling, Village Manager  
**Date:** December 10, 2007  
**Re:** Village Manager Report

1. Meeting Review:
  - November 27<sup>th</sup> – WCRC & URS re: Utility Coordination Meeting
  - November 28<sup>th</sup> - Staff Meeting
  - November 28<sup>th</sup> – 5<sup>th</sup> Well Site Meeting with MDEQ
  - November 30<sup>th</sup> - OHM Project Updates
  - December 3<sup>rd</sup> – Utility Committee Meeting
  - December 5<sup>th</sup> - AR Brouwer, DWC status meeting
  - December 5<sup>th</sup> – Randy Willis re: DDA project
2. Last Council meeting of 2007. The last Council meeting of 2007 is posted for Thursday, December 20<sup>th</sup>, a draft agenda and a posting notice is included for your review.
3. Council Retreat. Each year Council meets to review the Organizational Matters Resolution (copy included with my report), and prepare for the New Year. Monday, January 7<sup>th</sup> would provide time to allow the Resolution to be updated and included for action at the January 14<sup>th</sup> Council meeting. We can meet at the Village Office or an alternate location like the Foggy Bottom.
4. Contract Negotiations. A letter from Teamsters Local Union No. 214 is included with my report. I will be responding to their request this week to set a first meeting date to lay the groundwork for negotiations. I would like to recommend that Marie Sherry, Courtney Nicholls and I represent the Village in the negotiation process. To keep the Board informed throughout the process, on-going updates will be provided during regular Council meetings in closed session.

The Council Meeting regularly  
scheduled for December 26, 2007  
will be held

December 20, 2007

at 7:30 p.m. at the Senior Center.

**“DRAFT”**  
**THE VILLAGE OF DEXTER**  
**VILLAGE COUNCIL MEETING**  
**MONDAY December 20, 2007**

**\*\*\*\*\*7:30pm\*\*\*\*\***

**Dexter Senior Center, 7720 Dexter Ann Arbor Road**

**A. CALL TO ORDER AND PLEDGE OF ALLEGIANCE**

**B. ROLL CALL:** President Pro-Tem Keough      J.Carson      P. Cousins  
   D. Fisher      J. Semifero  
   R. Tell

**C. APPROVAL OF THE MINUTES**

1. Regular Council Meeting Minutes – December 10, 2007

Page# 1-

**D. PRE-ARRANGED PARTICIPATION:**

*Pre-arranged participation will be limited to those who notify the Village office before 5:00 p.m. Tuesday of the week preceding the meeting, stating name, intent and time requirements. (10-minute limit per participant)*

None

**E. APPROVAL OF AGENDA:**

**F. PUBLIC HEARINGS**

*Action on each public hearing will be taken immediately following the close of the hearing*

**G. NON-ARRANGED PARTICIPATION:**

*Non-arranged participation will include those in the audience not listed on the agenda that wish to speak. At the Village President's discretion, members of the audience may be called on to speak at any time. Those addressing the Council will state their name, and address. This section is limited to 5-minutes per participant or 10-minutes for group representatives*

*"This meeting is open to all members of the public under Michigan Open Meetings Act."*

**[www.villageofdexter.org](http://www.villageofdexter.org)**

**H. COMMUNICATIONS:**

None

**I. REPORTS:**

None

**J. CONSENT AGENDA**

*Bills & Payroll will be a standing item under consent agenda. Discussion of the Budget and Financial matters will be covered under the Presidents Report as a standing item. Items under consent agenda are considered routine and will be acted upon in one motion. There will be no separate discussion of these items unless a Council Member so requests, and the item will be removed from Consent and added to the regular agenda at the end of New Business.*

1. Consideration of: Bills & Payroll in the amount of: \$

Page#

**K. OLD BUSINESS- Consideration and Discussion of:**

1. Discussion of: Main Street Bridge Project – Phase 2 Funding Update  
No Update

2. Consideration of: UMRC Development Agreement  
No Update

Page#

**L. NEW BUSINESS- Consideration and Discussion of:**

None

**M. COUNCIL COMMENTS**

**N. NON-ARRANGED PARTICIPATION**

*Same as item F. Those addressing the Council will state their name, and address. This section is limited to 5-minutes per participant or 10-minutes for group representatives.*

**O. ADJOURNMENT:**

*"This meeting is open to all members of the public under Michigan Open Meetings Act."*

**[www.villageofdexter.org](http://www.villageofdexter.org)**

2-2007  
**RESOLUTION FOR THE PURPOSE OF  
ESTABLISHING ORGANIZATIONAL MATTERS  
FOR THE VILLAGE OF DEXTER**

At a regular meeting of the Village Council of the Village of Dexter, Michigan called to order by *President Jim Seta* on February 12, 2007 at 7:30 p.m., the following resolution was offered:

Moved by: Tell                      Supported by: Fisher

**WHEREAS**, the Village intends to utilize various firms and individuals for particular matters to coincide with the regular village election every November of even years, and

**WHEREAS**, the following firms and individual appointments can be changed as deemed necessary by Council by a simple majority vote of Council at any point during this time period.

**NOW, THEREFORE, BE IT RESOLVED**, that the Village Council does confirm using the following firms and individuals as needed in their respective responsibilities:

1. President Jim Seta, Treasurer Marie Sherry, Clerk David F. Boyle, President Pro Tem Joe Semifero, John Hanifan, Assistant Village Manager and Village Manager Donna Dettling as Bank Signatories.
2. President Pro Tem - Shawn Keough
3. Treasurer- Marie Sherry, March 2006 to March 2008. Reappointment or appointment required every even number year in March
4. Village Attorney for enforcement of Traffic Laws --Thomas Stringer
5. Miller, Canfield, Paddock and Stone as Attorney for bonding matters.
6. Dykema as Attorney for other general legal matters.
7. Varnum, Riddering, Schmidt & Howlett, for Telecommunication legal matters.
8. Carlisle/Wortman Associates, Inc. as consultants for planning and zoning matters.
9. Orchard, Hiltz and McCliment for general consultant and engineering matters.
10. Jones & Henry for specialized Water and Sewer Engineering and Consulting
11. Midwestern Consulting, Jim Valenta PE, Traffic Engineer/Public Works Project Support & Coordinator
12. Assistant Village Manager as Freedom of Information Officer.
13. Street Administrator- Ed Lobdell.
14. As representatives to the following organizations:
  - Huron River Watershed Council                      Paul Cousins
  - Planning Commission, Ex-officio                      Jim Carson

• Parks Commission Ex-officio	Joe Semifero
• Chamber of Commerce	Paul Cousins
• Zoning Board of Appeals	Ray Tell
• Dexter Area Fire Department Board	Joe Semifero, Jim Seta
• WATS	Jim Carson
• WAVE	Jim Carson, Alternate-Paul Cousins
• Utilities Committee	Joe Semifero, Shawn Keough
• Facilities Committee	Shawn Keough, Jim Seta
• Main Street Bridge & Dam Taskforce	Jim Seta, Paul Cousins
• Stormwater Phase II Citizen Advisory Group	Paul Cousins
• Healthy Communities Committee	Paul Cousins
• SEMCOG	Shawn Keough
• Dexter Farmer's Market Oversight Committee	Donna Fisher
• DHS- Gordon Hall Management Team	Donna Fisher

**BE IT FURTHER RESOLVED**, that the regular meeting of the Village Council shall be held the 2<sup>nd</sup> and 4<sup>th</sup> Monday of each month at 7:30 p.m. at the Dexter Senior Center – 7720 Dexter Ann Arbor Road.

That, all representatives shall report to Council as scheduled, review significant issues and proposals with Council for input and discussion, as needed, and forward copies of meeting agendas and minutes to Village Council in a timely fashion,

That the Regular Meeting of the Village Planning Commission shall be held the 1<sup>st</sup> Monday of each Month at 7:30 p.m. at the Dexter Senior Center – 7720 Dexter Ann Arbor Road.

That the Regular Meeting of the Village Parks Commission shall be held the 3<sup>rd</sup> Tuesday of each month at 7:00 p.m. at the Village Offices 8123 Main Street.

AYES: Cousins, Fisher, Keough, Semifero, Tell, Carson, and Seta

NAYS: None

**RESOLUTION DECLARED ADOPTED THIS 12<sup>th</sup> DAY OF FEBRUARY, 2007**

---

David F. Boyle, Village Clerk





# TEAMSTERS LOCAL UNION No. 214

STATE, COUNTY & MUNICIPAL WORKERS

*Affiliated with the International Brotherhood of Teamsters*

JOSEPH VALENTI  
President

SHERYL LANGDON  
Secretary/Treasurer

WEBSITE  
[www.ibt214.org](http://www.ibt214.org)

PRINCIPAL OFFICE  
2825 Trumbull Avenue  
Detroit, MI 48216-1290  
313 962-7729  
313 962-7891 Fax

MUSKEGON OFFICE  
231 733-1164  
231 733-4185 Fax

TRAVERSE CITY OFFICE  
231 941-0303  
231 941-8553 Fax

LANSING OFFICE  
517 641-6143  
517 641-4710 Fax

ESCANABA OFFICE  
906 786-2743  
906 786-2801 Fax

November 30, 2007

## CERTIFIED

Donna Dettling, Village Manager  
Village of Dexter  
8140 Main Street  
Dexter, MI 48130

Re: Contract Notice  
Village of Dexter

Dear Ms. Dettling:

This is to advise you that Teamsters State, County, and Municipal Workers Local 214 desires to continue its existing Agreement, but also desires to negotiate changes or revisions in such Agreement. Some of the particular contract provisions concerning which we desire to negotiate are wages, hours, and working conditions.

We shall be pleased to meet with you at any reasonable time that is convenient to you.

This notice is given to you pursuant to the terms of our Agreement and the applicable state laws without waiver of our rights, however, and with express reservation of our objections to the applicability, validity, and constitutionality of such acts and laws and any part thereof.

Sincerely,

Joel Gutzki  
Business Representative

erm

xc: Michigan Employment Relations Commission



AGENDA 12-10-07ITEM 5-1**SUMMARY OF BILLS AND PAYROLL****10-Dec-07**

Payroll Check Register	12/05/07	72,135.87	Bi-weekly payroll processing includes Longevity payments
		<b>\$72,135.87</b>	<b>GROSS PAYROLL TOTAL</b>
Account Payable Check Register		<b>\$0.00</b>	Final Accounts payable for 2007 next agenda
		<b>\$72,135.87</b>	<b>TOTAL BILLS &amp; PAYROLL EXPENDED ALL FUNDS</b>

Summary Items from Bills &amp; Payroll

Amount

Comments

**ALL PAYABLES ARE WITHIN ACCEPTABLE BUDGET LIMITS  
DETAIL VENDOR LIST AND ACCOUNT SUMMARY PROVIDED**

*"This is the summary report that will be provided with each packet. Approval of the total bills and payroll expended, all funds will be necessary."*



**Dexter-Main Street over Mill Creek  
Bridge and Dam Removal Project  
Structure No. 10992 (B01 of 81-14-22)  
Washtenaw County, Michigan**

***Utility Coordination Meeting Summary***

Meeting Date: November 27, 2007; 10:00 a.m.

Location: Washtenaw County Road Commission Offices

Attendance: See Attached Sign-In sheet

Issue Date: November 29, 2007

After introductions and a brief project overview, Mike Tarazi provided the schedule for the project. The project will be advertised for bids by the MDOT for the March, 2008 bid letting. Construction should begin around April 1, 2008.

AT&T has facilities that will be affected by the project, but did not attend the meeting. COMCAST also did not attend the meeting.

Copies of the plans, including the dam removal portion of the project, were provided to all participants.

**GAS MAIN RELOCATION**

After review of the staging plans, it was determined that the existing 3 inch gas main attached to the existing bridge must be relocated prior to April 1, 2008, as the first stage of work on the bridge will impact the gas main. This main cannot be shut down during the home heating season. Due to this, the relocation plan now is to directional bore a replacement line and not place a new main on the replacement bridge. The new line will be 4 inch, to match the existing line on each side of the existing bridge.

The new line must be 10 feet below the streambed elevation after removal of the dam. The Gas Company is responsible for obtaining any permits required for the relocation work from the MDEQ. MDEQ may have different requirements, depending on whether the line is 3 inch or 4 inch diameter.

The new line is to be placed adjacent to the south right of way line. The exact limits of the work will depend on the profile of the new line.

The right of way line is to be staked by the Road Commission surveyors. URS is to provide copies of the project CADD files to Adolfo Castillo of DTE (Microstation SE format) for use in preparing his relocation plans and to the Road Commission (AutoCAD 2004 format) for use in staking the ROW.



There is an existing 3 inch main which also may be in conflict with the proposed storm sewer and paving on the east side of Dexter-Chelsea Road. Adolfo is to investigate the depth of the existing line and determine whether this line also needs to be relocated. Adolfo also is to propose a schedule for completion of this relocation, if needed. He anticipates that all of the relocation work will be completed at the same time, and prior to April 1, 2008.

The existing gas mains are shown in the plans; however the locations are off by a few feet at the Dexter-Chelsea/Main Street Intersection. URS is to correct the locations of the existing mains.

A permit application for the relocation work is to be submitted by December 14, 2007.

#### OVERHEAD ELECTRIC

The contact person is now Nurah Dababneh and this will be reflected in the plans.

Nurah said that the overhead poles that are in conflict with the proposed project will be removed prior to March 31, 2008. They have service on both sides of the creek and a line crossing the creek is not needed and will be removed.

A permit application for the electric line work is to be submitted to WCRC within 2 weeks, or by December 11, 2007.

#### TELEPHONE COMPANY FACILITIES

The phone company did not attend the meeting. A followup meeting or a field meeting will be needed with the telephone company regarding relocation of the lines attached to the existing bridge. The phone company's plan currently is to break the lines out of the existing conduit and support them temporarily on poles at the north right of way line, and then place them back in conduit attached to the new bridge. Issues regarding this plan include:

- Is there enough "slack" in the lines to allow this?
- Is there adequate space between the ROW line and work area for this to be done without temporary easements?
- How will the work be accomplished where the lines go through an existing abutment wall?

#### SANITARY SEWER AND WATER MAIN

No conflicts are anticipated. One sanitary manhole cover will need to be adjusted to grade at the Dexter-Chelsea/Main Street Intersection. A new cover is not needed for this structure.

#### STREETLIGHTING and STREETSCAPING ISSUES

Future landscaping irrigation west of the bridge will require water service. The Village requested that allowance to place an irrigation line through the new bridge be provided. This line would need to be drained each fall when the landscaping system is drained. The Road Commission prefers that no water or irrigation lines be placed in the bridge and suggested an alternative source of water be found west of the bridge.



There is at least one existing light pole in conflict with the temporary pavement needed for the project. The Village would like to have new, (multiglobe) lights placed at each corner of the new bridge. The existing lights should be salvaged and stockpiled on the site to be picked up by the Village. Removing, salvaging, and reinstalling lights in conflict with the proposed project would be considered as eligible for federal participation by MDOT. Work beyond this can be included in the project, but at 100% Village of Dexter cost. Conduit required for the existing and future streetlighting should be included in the project as contract items, particularly anything attached to the new bridge.

#### OTHER ISSUES

The existing DPW Offices in the lowest floor of the Village building has been vacated. Donna Dettling suggested this may be a good place for the Contractor to have an office as it has access to the Warrior Park parking area, which also could be made available to the Contractor. The Park can be closed during construction. Providing use of this parking area and the adjacent building to the Contractor should result in lower project costs. A Notice to Bidders will be prepared regarding this to ensure that bidders are aware that these facilities will be provided at no cost.

A final decision regarding the bridge barrier and the need for end protection has not been made. URS is to investigate sight distance for traffic exiting the Warrior Creek Park Driveway, which may be impacted by the bridge railing.

It may be possible to relocate the park driveway to the east to improve sight distance, however, the existing parking area for the fire station and grades in this area limit the relocation options. Donna Dettling stated that the driveway is currently steeper than ADA guidelines allow for handicap access and that the Village would like to make the park handicap accessible. A plan for doing this has not yet been developed but will be discussed with the Village and their Landscape architects. How much, if anything, can be done to improve the situation at the park driveway as part of this project will be investigated further.

There is an existing sign for the American Legion property west of the bridge which may interfere with Contractor access for the dam removal portion of the project. This sign is within the existing right of way.

The Road Commission is to obtain the two temporary Grading Permits required for the project. URS is to furnish copies of the drawings showing the dimensions and locations of these permits for use in obtaining the permits. One permit is needed from the Village and the other is from the American Legion property.



## NEXT ACTIONS

- Mike Tarazi is to contact COMCAST to verify their facilities in the area.
- URS is to furnish drawing showing the needed grading permits to Washtenaw County
- URS is to furnish Microstation CADD files to DTE for use in preparing gas main relocation plans
- URS is to furnish AutoCAD CADD files to Washtenaw County for use in staking the ROW
- URS is to investigate sight distance at the Warrior Park driveway intersection with the bridge railing location proposed.
- URS is to coordinate with the Village and the Village Landscape Architects regarding streetlighting
- URS is to coordinate with the Village and the Village Landscape Architects regarding improvements to the Warrior Park entrance area.
- WCRC will arrange a Public Meeting to be held when the project is advertised for bids.
- Dexter Fire and Police will be invited to attend the Preconstruction Meeting and contractor progress meetings during construction.
- DTE-Michcon to submit relocation plans and a permit application for the gas main relocation to WCRC by December 14, 2007
- DTE is to submit overhead relocation plans and a permit application to WCRC by December 11, 2007.

Submitted By:

A handwritten signature in black ink, appearing to read "Leo N. Davies", written over a horizontal line.

Leo N. Davies, PE  
URS Corporation

cc: All Participants  
Roy Townsend, WCRC  
Thomas Jett, AT&T  
Frank Hayes, Comcast





Surface Transportation

# MEETING ATTENDANCE RECORD

Project Name:	Mill Creek Bridge Replacement	Project Number:	
Meeting Type:	Utility Coordination	Date:	11-27-2007
Meeting Location:	Washtenaw County Road Commission	Time:	10:00 a.m.

PLEASE PRINT CLEARLY:

Representative	Company	Phone	Fax	E-Mail	Sheet of
Leo Davies	URS	616 574-8371		leo.davies@urscorp.com	
Mike Tarazi	URS	616 574-8381		mike_tarazi@urscorp.com	
Antonio Castano	DTE Energy - MichCon	313 577 7470	313 577 7061	castanola@dteenergy.com	
Donna Dettling	Village of Dexter	734-426-8303	734-426-5614	dettling@villagedexter.org	
Kelly Jones	WCRC	734-327-6647	734-761-3239	jonesk@wcrcroads.org	
C.D. Lohdell	Village of Dexter	734-426-4573	734-426-5466	clohdell@villageofdexter.org	
Nurah Dababneh	DTE	734 397 4009		dababneh@dteenergy.com	
Arjun Beal	Washtenaw Co. Road Comm.	734 327-6684	734-761-1500	beal@wcrcroads.org	
Andy Hedges	WCRC	734-327-6671	"	hedgesa@wcrcroads.org	
John Posegay	WCRC	734-327-6690	734-761-3737	posegayj@wcrcroads.org	

3950 Sparks Dr. SE  
Grand Rapids, MI 49546  
Ph: 616-574-8500  
Fax: 616-574-8542

610 W. Ottawa St  
Lansing, MI 48933  
Ph: 517-372-5810  
Fax: 517-372-5847

10850 Traverse Hwy  
Suite 2205  
Traverse City MI 49684  
Ph: 231-932-7592  
Fax: 231-932-7504



**RULE 18: FILLING VACANCY ON COUNCIL**

When the position of trustee becomes vacant for any reason, the following process shall be followed and the position shall be filled as quickly as possible.

- 1.) Officially vacate the trustee position if required.
- 2.) Provide adequate notification to the public regarding the open position through the village newsletter, a newspaper, the Internet, or any other means deemed appropriate.
- 3.) The applicant will write a letter of intent or fill out an application within (2) weeks of the public notice.
- 4.) At the next council meeting the President will announce all the applicants and provide copies of applications or letters of intent.
- 5.) The President makes the first nomination and any council member can also make one nomination if they choose.
- 6.) The nominees are then voted on in the same order in which they were nominated.
- 7.) When one nominee receives 4 votes, the affirmation of nominees is then closed and that nominee is then appointed and sworn into office.
- 8.) If in the event no nominee receives 4 votes, each nominee is allowed to confirm their intent to fill the open council seat and the nomination process begins again at step 5.

Received/Tuesday - November 26  
2007

## Village of Dexter

8140 Main St. Dexter, Michigan 48130

Phone (734) 426-8303

Fax (734) 426-5614

### Application for Appointment as Commission or Committee Member

Name SHAWN WILLIAM KEOUGH  
Address 8222 Webster Drive Email skeough@wadetrin.com  
Phone (cell) 313-363-1434 Best time to call anytime  
evenings @ 734-426-5486

Which Commission/Committee are you applying for?

☐ Zoning Board of Appeals

☐ Planning Commission

☐ Parks Commission

☐ Downtown Development Authority

☐ Local Development Finance Authority

☒ Other (Specify) Village President

Why are you interested in serving on this Commission/Committee? Are there current events that have spurred your interest?

*I think I can do a good job and I would be proud to represent the Village and its residents.*

What particular skills and/or background do you feel that you could bring to this appointment? What other, if any, commissions or committees have you served on?

*I am a good communicator and a good listener. Civil engineer by trade.  
I have served last 3+ years as Village Trustee, + utility committee & facility committee*

Please list/attach any other information that you would like to have considered.

*Please call me to discuss any questions you may have.*

**RULE 18: FILLING VACANCY ON COUNCIL**

When the position of trustee becomes vacant for any reason, the following process shall be followed and the position shall be filled as quickly as possible.

- 1.) Officially vacate the trustee position if required.
- 2.) Provide adequate notification to the public regarding the open position through the village newsletter, a newspaper, the Internet, or any other means deemed appropriate.
- 3.) The applicant will write a letter of intent or fill out an application within (2) weeks of the public notice.
- 4.) At the next council meeting the President will announce all the applicants and provide copies of applications or letters of intent.
- 5.) The President makes the first nomination and any council member can also make one nomination if they choose.
- 6.) The nominees are then voted on in the same order in which they were nominated.
- 7.) When one nominee receives 4 votes, the affirmation of nominees is then closed and that nominee is then appointed and sworn into office.
- 8.) If in the event no nominee receives 4 votes, each nominee is allowed to confirm their intent to fill the open council seat and the nomination process begins again at step 5.

Received Thursday November 29  
2007

## Village of Dexter

8140 Main St. Dexter, Michigan 48130

Phone (734) 426-8303

Fax (734) 426-5614

### Application for Appointment as Commission or Committee Member

Name BRANDON Bullock  
Address 3470 EDISON ST. Email b.bullock@COMCAST.NET  
Phone (734) 255-5417 Best time to call 8am - 9pm

Which Commission/Committee are you applying for?

☐ Zoning Board of Appeals

☐ Planning Commission

☐ Parks Commission

☐ Downtown Development Authority

☐ Local Development Finance Authority

☒ Other (Specify) TRUSTEE

Why are you interested in serving on this Commission/Committee? Are there current events that have spurred your interest?

PLEASE SEE ATTACHED

What particular skills and/or background do you feel that you could bring to this appointment? What other, if any, commissions or committees have you served on?

Please list/attach any other information that you would like to have considered.

## Application for Appointment as Trustee

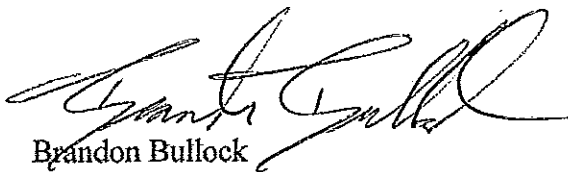
1. I'm interested in serving as a Trustee because I would like to have more involvement in the community and the decision making process. I have lived in Dexter for almost three years and love it here. I believe serving for the Village will educate me as well as help the Village and the citizens here.

2. I have been a Police Officer for over twelve years and have worked with the board members there in a police capacity as well as union negotiations. I believe bringing a police officers experience to the table would give a different view to things. I have also been a Michigan Association of Police union member for over ten years and currently hold the position of Union President.

3. I'm also a business owner in the Village of Dexter and believe bringing the opinion of a local business owner as well as my police experience would help the Village.

Thank you for your time and consideration.

Sincerely



Brandon Bullock

Received Friday November 3  
2007

## Village of Dexter

8140 Main St. Dexter, Michigan 48130

Phone (734) 426-8303

Fax (734) 426-5614

### Application for Appointment as Commission or Committee Member

Name James D Smith  
Address 7765 Forest Email jdsmith@umich.edu  
Phone 734-426-8885 home Best time to call Evenings 6:30pm-11:00pm  
734-936-8253 work Days 8:00am-4:30pm

Which Commission/Committee are you applying for?

☐ Zoning Board of Appeals

☐ Planning Commission

☐ Parks Commission

☐ Downtown Development Authority

☐ Local Development Finance Authority

☒ Other (Specify) Village Council - Trustee

Why are you interested in serving on this Commission/Committee? Are there current events that have spurred your interest?

current issues - annexation, city hood, water + sewer capacities

What particular skills and/or background do you feel that you could bring to this appointment? What other, if any, commissions or committees have you served on?

Former member of Planning Commission

Former member of Village Council

Former member of Downtown Development Authority

Please list/attach any other information that you would like to have considered.

Degrees: BS - Geography + Economics

AS - Urban Planning

Familiar with computers and web technology



Received Tuesday, Dec 4  
2007

## Village of Dexter

8140 Main St. Dexter, Michigan 48130

Phone (734) 426-8303

Fax (734) 426-5614

### Application for Appointment as Commission or Committee Member

Name Thom Phillips tphillips@hobbs-black.com  
Address 7175 Ulrich, Dexter 48130 Email tphillips@comcast.net  
Phone 734.426.5355 Best time to call 6:30pm -

Which Commission/Committee are you applying for?

- ☐ Zoning Board of Appeals  
☐ Planning Commission  
☐ Parks Commission  
☐ Downtown Development Authority  
☐ Local Development Finance Authority  
☒ Other (Specify) Village Council

Why are you interested in serving on this Commission/Committee? Are there current events that have spurred your interest?

Because of my desire to help Dexter continue to mature as a fiscally sound, stable and thoughtful community, I respectfully submit my application for Village Council (until November). My interest was spurred by the resignation of President Seta at a time when the Village is considering a number of complex and controversial issues.

What particular skills and/or background do you feel that you could bring to this appointment? What other, if any, commissions or committees have you served on?

I grew up in Northville when it was still a small town experiencing significant development, similar in some ways to what Dexter is facing today. I have been practicing architecture for 20 years in an extremely diverse practice that has offered me exceptional experience and insights into the development of dozens of communities.

I am currently a Planning Commissioner, designed the Community Park picnic shelter, 3 year past president Huron Farms association and recent member of the Mill Creek Park planning committee.

Please list/attach any other information that you would like to have considered.

Please see my attached corporate resume and [www.hobbs-black.com](http://www.hobbs-black.com).

[http://www.michigansuburbsalliance.org/redevelopment/redevelopment\\_ready\\_communities.php](http://www.michigansuburbsalliance.org/redevelopment/redevelopment_ready_communities.php)

## **Thomas L. Phillips**

### **Vice President**

*Project Manager or LEED AP*

*Thom Phillips is a Vice President at Hobbs+Black and Director of the Office and Industrial Studios. His responsibilities include project management, site planning, programming and design. He has extensive experience managing projects from design development, working drawings, shop drawing review and field inspection. His wide range of design experience includes museums, office, institutional and retail facilities. He has lectured to the Detroit Institute of Arts Founders Society and Birmingham Bloomfield Art Association.*

#### **Professional Experience Includes:**

The Henry Ford  
Agricultural Gallery Exhibit  
Dearborn, MI

The Henry Ford  
With Liberty and Justice For All Exhibit  
Dearborn, MI

Automotive Hall of Fame  
New Museum  
Dearborn, MI

Spirit of Ford Museum  
New Guest Center  
Dearborn, MI

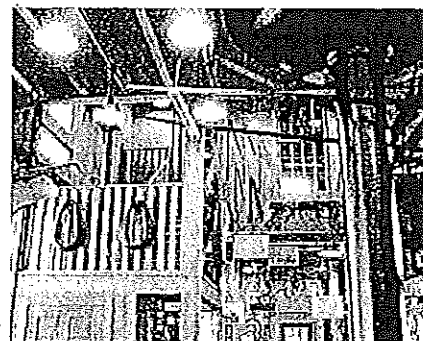
Detroit Pistons Practice Facility  
Auburn Hills, MI

Lakelands Golf and Country Club  
Addition  
Brighton, MI

Children's Center  
Paul D. Marsh Programs Building  
Detroit, MI

Pittsfield Charter Township  
Administration Building Post Occupancy Needs Assessment  
Pittsfield Twp, MI

Washtenaw County United Way  
New Office Center  
Ann Arbor, MI



#### **Education:**

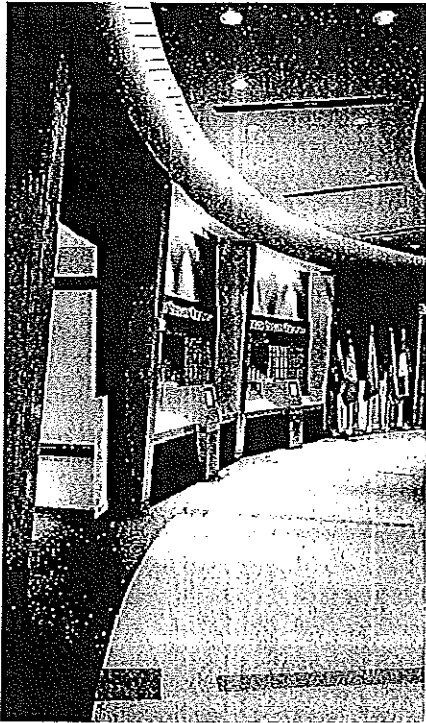
- Bachelor of Science in Architecture  
Lawrence Tech University, 1988
- Bachelor of Science  
in Business Administration  
Lawrence Tech University, 1988

#### **Professional and Civic Affiliations:**

- Village of Dexter  
Planning Commission
- Michigan Suburbs Alliance  
Redevelopment Ready  
Community Subcommittee
- Southeast Michigan Sustainable  
Business Forum  
Land Use Subcommittee

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**HOBBS+BLACK ARCHITECTS**



State of Michigan: Department of Community Health  
Washington Square  
Lansing, MI

State of Michigan: Department of Community Health  
Washington Square II: DCH and MOB  
Lansing, MI

Comcast Spotlight  
Tenant Relocation  
Bingham Farms, MI

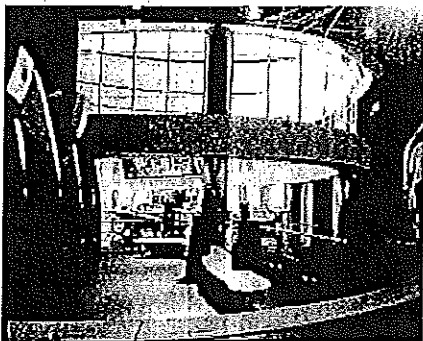
Eaton Corporation  
Interior Design: New Office and Fuel Vapor Systems Laboratory  
Ann Arbor, MI

Expeditors at Metro Airport Center  
New Distribution Center at Detroit Metro Airport  
Romulus, MI

Ford Motor Land Services Corporation  
500 Town Center  
Dearborn, MI

Ford Motor Land Services Corporation  
Primus Financial Services Headquarters  
Franklin, TN

Guardian Industries  
World Headquarters  
Auburn Hills, MI



**Donna Dettling**

---

**From:** Thom Phillips [tphillips@hobbs-black.com]  
**Sent:** Tuesday, December 04, 2007 1:46 PM  
**To:** Donna Dettling; Allison Bishop; Courtney Nicholls  
**Cc:** 'Thom Phillips (Thom)'  
**Subject:** RE: Vacancy on Council

Hello,

I respectfully submit my application for the open Village Council position. Please see attached application.

Regards:

**Thomas L. Phillips**

Vice President

LEED Certified

**HOBBS+BLACK ARCHITECTS**

100 N. State Street Ann Arbor, MI 48104

P: 734-663-4189 F: 734-663-1770

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**From:** Allison Bishop [mailto:abishop@villageofdexter.org]  
**Sent:** Wednesday, November 14, 2007 11:33 AM  
**To:** alan.green@mac.com; mesteffey@comcast.net; jrsemifero@yahoo.com; jcoy@aiserv.net; jovanelly@comcast.net; Paul Kepler; Toni Henkemeyer (E-mail); Derk Wilcox; jcarson@aiserv.net; jb@oxfordcompanies.com; kimclugston1973@yahoo.com; Mary Kimmel (E-mail); Matt home; Matt Kowalski (E-mail); Matt McCormack; Scott Bell (E-mail); Tom Phillips; Allison Bishop; dano@danoland.com; dlundy@dexter.k12.mi.us; Donna Dettling; Fredmodel@aol.com; FredRx68@aol.com; garyvh2@worldnet.att.net; jri@bria2.com; jwseta@yahoo.com; lallmendinger@sbcglobal.net; luckylanefarm@earthlink.net; sdalton@heritage.com; shop@dexterflowers.com; stevebrouwer@arbrouwer.com; tjacoby@heritage.com; dnweller@comcast.net; richcdi@aol.com; hkpland@sbcglobal.net  
**Subject:** Vacancy on Council

The Village Council would like to inform all residents that there is a vacancy for Village Council due to Jim Seta's resignation. Anyone interested please see the attached notice and submit an application to the Village.

<<vacancy notice.doc>>

Thanks,

*Allison J. Bishop, AICP*

Community Development Manager

Village of Dexter

734.426.8303 ext. 15

# VILLAGE OF DEXTER

8140 Main Street Dexter, MI 48130-1092

[ddettling@villageofdexter.org](mailto:ddettling@villageofdexter.org)

Phone (734)426-8303

Fax (734)426-5614

## MEMO

To: President Pro Tem Keough and Council

From: Donna Dettling, Village Manager

Date: December 10, 2007

Re: Town Hall Style Meeting Guidelines

AGENDA

12-10-07

ITEM

L-3

As suggested by Council the first meeting will be an informal council meeting that will allow the residents and council to engage in informal discussions. The date set for this meeting is January 17, 2008. Documents, including the budget and county apportionment report will be available for residents to review.

The first "Town Hall" meeting agenda will be set based on the discussions held at this session. The schedule of Town Hall meetings will be as follows for 2008:

February 21

June 19

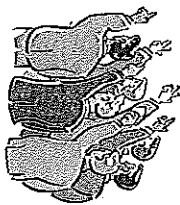
October 16

All meetings will be held at 7:30 p.m. at the Senior Center.

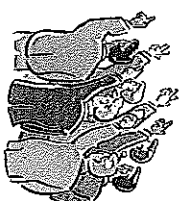
The meetings in February, June, and October will have an assigned topic or two; however, a majority of the time will be reserved for questions and answers on any topic. Residents in attendance who wish to ask questions will submit them on paper so they can be sorted by topic. Follow-up questions will be encouraged as time permits.

\*\*These guidelines can be tweaked based upon the discussions at the informal meeting in January.

While there will not be an opportunity to advertise the January meeting in the newsletter and on the water bill the February, June and October meetings will be advertised in both.



## ATTENTION RESIDENTS:



You are cordially invited to an informal meeting of the Dexter Village Council on

January 17, 2008

at 7:30 p.m. <sup>8:30 p.m.</sup> at the Senior Center.

This is a chance for you to ask questions and receive responses directly from the Council.



**MIDWESTERN  
CONSULTING**

Civil, Environmental and  
Transportation Engineers  
Planners, Surveyors,  
Landscape Architects


3815 Plaza Drive  
Ann Arbor, Michigan 48108  
734.995.0200 Phone  
734.995.0599 Fax

**AGENDA** 12-10-07

**ITEM** L-4

**MEMORANDUM**

TO: Donna Dettling, Village Manager  
Village of Dexter

FROM: Jim Valenta, P.E. 

RE: New Traffic Counts - Main Street Signal Upgrade

DATE: November 30, 2007

---

In order to finalize the traffic signal progressions and phasing times along Main Street, it is advisable to obtain current intersection turning movement counts at three intersections. These will be obtained from 7:00 a.m. to 8:00 a.m.; from Noon to 1:00 p.m.; and from 5:00 p.m. to 6:00 p.m. at the following intersections:

1. Main Street and Broad Street,
2. Main Street and Central Street, and
3. Main Street and Baker Road

We have observed traffic flows for several years now, and we understand that these are the time periods that are representative of the morning peak hour, the off-peak hour and the evening peak hour. Autos and commercial vehicles will be counted separately and pedestrian counts will also be taken.

The purpose of these counts is to update the computer analysis program that is used to verify and establish efficient system cycle lengths and signal offsets. The data will be uploaded into the Synchro computer models that are already in service and any indicated changes in traffic signal timings will be forwarded to Dan Dapprich for installation in the field.

The total cost for the data collection and updates to the computer modeling will be \$1,600. The counts should be taken before December 13<sup>th</sup> to assure that we are obtaining normal traffic flows and not those influenced by the holiday season. Please let me know if this proposal is acceptable.





# VILLAGE OF DEXTER

8140 Main Street Dexter, MI 48130-1092

[ddettling@villageofdexter.org](mailto:ddettling@villageofdexter.org)

Phone (734)426-8303 Fax (734)426-5614

## MEMO

**To:** President Pro-Tem Keough and Council  
**From:** Donna Dettling, Village Manager  
**Date:** December 10, 2007  
**Re:** Request to designate Private Roads Public

**AGENDA** 12-10-07  
**ITEM** L-5

At the October 22, 2007 meeting, Council authorized staff to work with legal counsel to address concerns and prepare documents necessary to designate a portion of Cambridge Drive and all of Preston Circle public road.

The original letter of request as well as all other documents necessary to complete the dedication are included for your review. The review by Dan Schairbaum, Village Attorney from Dykema asks that the Village consider specific reasons for the waiver to distinguish it from future dedication requests. The Resolution for the dedication of these roads includes language to address this concern. Specifically, the reasons include: the roads have been in service approximately 12 years and their integrity and useful life are not in question, Village engineers and staff have inspected and recommended acceptance of the private roads, and a bond from the Homeowner's Association for roads approximately 12 years old would create an undue financial burden.

The Village will complete the follow-up on all items included in the Attorney review letter.



Dykema Gossett PLLC  
400 Renaissance Center  
Detroit, Michigan 48243

WWW.DYKEMA.COM

Tel: (313) 568-6800

Fax: (313) 568-6996

**Daniel J. Scharbaum**

Direct Dial: (313) 568-5352

Email: DSCHAIRBAUM@DYKEMA.COM

December 5, 2007

**Via Electronic Mail**

Ms. Donna Dettling, Village Manager  
Village of Dexter  
8140 Main Street  
Dexter, Michigan 48130-1092

Re: Road Dedication Materials for Preston Circle and Cambridge Drive/Dexter Crossing Subdivision

Dear Ms. Dettling:

At your request, we have reviewed the following road dedication materials being presented to the Village of Dexter (the "Village") for the above referenced development (the "Dedication Materials"):

- Unrecorded Quit Claim Deed from Blackhawk Development Corporation to Dexter Crossing Homeowner's Association, Inc. for Preston Circle and Cambridge Drive;
- Unrecorded Quit Claim Deed from Dexter Crossing Homeowner's Association, Inc. to the Village of Dexter for Preston Circle and Cambridge Drive;
- Unexecuted Village Resolution accepting public dedication of Preston Circle and Cambridge Drive.
- Fifth Third Bank Letter of Credit (MIS302203) and Amendments 1-3 (the "LOC"); and
- Maintenance and Guarantee Bond issued by Blackhawk Development Corporation to the Village dated July 9, 2007 (the "Bond")

We understand that the Village has inspected and approved the construction and location of the roads to be dedicated and, with your permission, we are assuming (i) that the legal descriptions and sketches in the Dedication Materials are accurate in regards to actual locations of the improvements as verified by your inspections; and (ii) that both Blackhawk Development Corporation and Dexter Crossing Homeowner's Association, Inc. had the requisite legal authority to transfer title to the roads to the Village.

Please note the following in regards to the Dedication Materials:

- The Bond and the LOC generally cover the road improvements within Plat I and Phase Va of the Dexter Crossing Subdivision. It is our understanding that Preston Circle and Cambridge Drive are located within the property covered by the Bond and the LOC. Nonetheless, because the transfer of title to Preston Circle and Cambridge Drive is being made from Dexter Crossing Homeowners Association, Inc. (rather than Blackhawk

Ms. Donna Dettling  
December 5, 2007  
Page 2

Development Corporation) an argument can be made that the LOC and the Bond are not available to the Village in the event maintenance and repair activities are necessary in connection with Preston Circle and Cambridge Drive. In other words, because Preston Circle and Cambridge Drive were originally designated as private roads, the subsequent transfer of these roads to the Village may not automatically bring them under the coverage of the LOC or the Bond.


- Our review of the Village Code of Ordinances does not indicate that the Village must require either a Letter of Credit or Maintenance and Guarantee Bond as a prerequisite to accepting a public dedication of private roads. Accordingly, it appears that the Village may elect to waive this requirement with respect to the proposed dedication of Preston Circle and Cambridge Drive. It should be noted, however, that waiver of this requirement in connection with the current dedications may establish an undesired precedent for future dedication requests. As such, the Village should carefully consider the specific reasons for the waiver in the current case in an effort to distinguish it from future dedication requests.
- The Village should obtain recorded copies of the Quit Claim Deeds executed by Blackhawk Development Corporation and Dexter Crossings Homeowner's Association, Inc.
- The Village should obtain copies of corporate resolutions or documentation evidencing the authority of Blackhawk Development Corporation and Dexter Crossings Homeowner's Association, Inc. to transfer the subject properties.

Based on our review of the Dedication Materials and subject to the matters set forth above, we find the documentation for dedication of Preston Circle and Cambridge Drive to be complete and legally effective in transferring title to the Village for public use.

Please feel free to contact me if you have any questions or require additional information.

Sincerely,

DYKEMA GOSSETT PLLC



Daniel J. Schairbaum

DET02266380.2  
ID:DJSC

-2007

**RESOLUTION        FOR        THE  
DEDICATION AND ACCPTANCE OF  
PRIVATE ROADS AS PUBLIC ROADS  
WITHIN DEXTER CROSSING**

---

**Village of Dexter  
Washtenaw County, Michigan**

WHEREAS, the Dexter Village Council, on behalf of the Village of Dexter, of 8140 Main Street, Dexter, Michigan 48130 (the "Village"), approved and accepted dedication of public roads and underground utilities in Plat 1 and Phases 2 through 5A, located in the Dexter Crossing Subdivision, located in the Village of Dexter, Washtenaw County, Michigan, on January 22, 1996; and

WHEREAS, the Dexter Crossing Subdivision has two (2) private roads, known as Cambridge Drive and Preston Circle, that were not dedicated to the public; and

WHEREAS, Dexter Crossing Homeowner's Association, Inc.(the "Homeowner's Association") has requested acceptance and dedication of the two (2) private roads as public by the Village; and

WHEREAS, the Village's engineers have inspected and recommended acceptance of the private roads although they may not meet the Village's current public road or right-of-way standards; and

WHEREAS, the Village's staff has inspected and recommended acceptance of the private roads although they may not meet the Village's current public road or right-of-way standards; and

WHEREAS, these roads have been in service for approximately 12 years and the integrity and useful life of these roads is not in question, and

WHEREAS, the Village does not want to create an undue financial burden for the Home Owner's Association who are ill prepared to take on the responsibility of posting a bond for roads that are approximately 12 years old, and

WHEREAS, upon careful consideration of the circumstances, the Village has decided to waive the requirement that a letter of credit or bond be provided by the Homeowner's Association in connection with the maintenance and repair of the roads being dedicated; and

WHEREAS, all other dedication standards have been met by the Homeowner's Association; and

WHEREAS, the Homeowner's Association has legal authority to quit claim the roads and right-of-ways to the Village; and

WHEREAS, the Village has agreed to accept the dedication of the private roads as public.

BE IT THEREFORE RESOLVED, that the Village accepts the dedication of the private roads, Cambridge Drive and Preston Circle, as public, as further described in Attachment A hereto, for any and all public uses.

AND BE IT FURTHER RESOLVED, that the Village will maintain and repair the roads as public.

MOVED BY:

SUPPORTED BY:

YEAS:

NAYS:

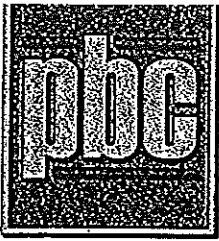
ABSENT:

RESOLUTION DECLARED ADOPTED THIS \_\_\_\_ DAY OF \_\_\_\_ 2007.

\_\_\_\_\_  
Village President

CERTIFIED BY:

\_\_\_\_\_  
David F. Boyle, Village Clerk  
VILLAGE OF DEXTER



**PETERS BUILDING CO.**

172 S. INDUSTRIAL DRIVE • P.O. BOX 577  
SALINE, MICHIGAN 48176  
www.petersbuilding.com

(734) 429-4200

FAX: (734) 429-2878

RESIDENTIAL • COMMERCIAL • DEVELOPMENT

September 19, 2007

Village of Dexter  
8140 Main Street  
Dexter, MI 48130

**RE: DEXTER CROSSING  
DESIGNATION TO PUBLIC ROADS**

ATTENTION: Donna Dettling, Village Manager, Jim Seta, Village President, and  
Village of Dexter Council Members:

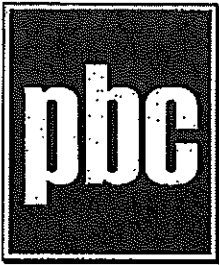
Pursuant to the Village of Dexter Council action taken on July 9, 2007 under new business agenda item L4 (Consideration for Dedication of Public Right of Way and Utilities for Dexter Crossing Plat 1, Phases 2-5a), we request that the designation of Cambridge Drive (Plat 1 and Phase 2) and Preston Circle (5a) be designated as public roads.

Thank you for your prompt attention to this matter.

Sincerely,

James G. Haeussler  
President

JGH/psg



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SALINE, MICHIGAN 48176  
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(734) 429-4200

FAX: (734) 429-2678

RESIDENTIAL • COMMERCIAL • DEVELOPMENT

November 21, 2007

Village Of Dexter  
8140 Main Street  
Dexter, MI 48130

**RE: DEXTER CROSSING  
DESIGNATION TO PUBLIC ROADS**

**ATTENTION:** Donna Dettling, Village Manager, Jim Seta, Village President  
and Village Of Dexter Council Members:

Pursuant to the Village of Dexter Council action taken on July 9, 2007 under new business agenda item L4 (Consideration For Dedication of Public Right of Way and Utilities for Dexter Crossing Plat 1, phases 2-5a), we request that the dedication of Cambridge Drive (Plat 1 and Phase 2) and Preston Circle (5a) be designated as public roads.

The Homeowners Association requests that the Village of Dexter accept the quit claim deeds to the two private roads without the need for a warranty or maintenance bond. These roadways were inspected by the Public Services Superintendent, Mr. Ed Lobedell, at the same time the other public roadways in the project were inspected and accepted by Mr. Lobdell.

Thank you for your continued efforts in regards to this matter. For questions I can be reached daily at the office (734) 429-4200.

Sincerely,

James G. Haeussler  
President

**QUITCLAIM DEED - CORPORATION OR PARTNERSHIP**

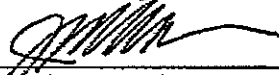
Dexter Crossing Homeowners' Association, Inc., a Michigan non-profit corporation, whose address is P.O. Box 577, Saline MI 48176, quitclaims to The Village of Dexter, a Michigan municipal corporation, whose address is 8140 Main Street, Dexter MI 48130, the following property located in the Village of Dexter, Washtenaw County, Michigan:

SEE ATTACHED EXHIBIT A FOR DESCRIPTION AND MAP OF CAMBRIDGE DRIVE AS DEPICTED AND DESCRIBED ON MIDWESTERN CONSULTING SURVEY, JOB NO. 07245  
SEE ATTACHED EXHIBIT B FOR DESCRIPTION AND MAP OF PRESTON CIRCLE AS DEPICTED AND DESCRIBED ON MIDWESTERN CONSULTING SURVEY, JOB NO. 02314

for the full consideration of less than \$100.00. This deed is given to dedicate these roads to public use.

Dated: November 29, 2007

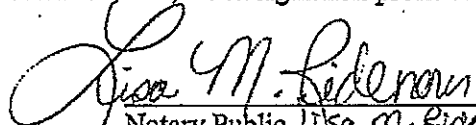
Dexter Crossing Homeowners' Association, Inc.

By   
James G. Haeussler  
Its President

Acknowledged before me in Washtenaw County, Michigan, on November 29, 2007, by James G. Haeussler as President of Dexter Crossing Homeowners' Association, Inc., a Michigan non-profit corporation, on behalf of the corporation.

My commission expires:

10/09/2013

  
Notary Public, Lisa M. Ridenour  
Washtenaw County, Michigan

This instrument drafted by:  
Scott Broshar P41006  
410 South Maple Road  
Ann Arbor, Michigan 48103

When recorded return to:  
Grantee

Recording fee: \$20.00

Send tax bills to:



**QUITCLAIM DEED - CORPORATION OR PARTNERSHIP**

Blackhawk Development Corporation, a Michigan corporation, whose address is 7061 Dexter-Ann Arbor Road, Dexter MI 48130, quitclaims to Dexter Crossing Homeowners' Association, Inc., a Michigan non-profit corporation, whose address is P.O. Box 577, Saline MI 48176, the following property located in the Village of Dexter, Washtenaw County, Michigan:

SEE ATTACHED EXHIBIT A FOR DESCRIPTION AND MAP OF CAMBRIDGE DRIVE AS DEPICTED AND DESCRIBED ON MIDWESTERN CONSULTING SURVEY, JOB NO. 07245  
SEE ATTACHED EXHIBIT B FOR DESCRIPTION AND MAP OF PRESTON CIRCLE AS DEPICTED AND DESCRIBED ON MIDWESTERN CONSULTING SURVEY, JOB NO. 02314

for the full consideration of less than \$100.00. This deed is given to dedicate these roads to public use.

Dated: November 29, 2007



Blackhawk Development Corporation, a Michigan corporation

By [Signature]  
Joseph V. Bonar  
Its President

Acknowledged before me in Washtenaw County, Michigan, on November 29, 2007, by Joseph V. Bonar, as President of Blackhawk Development Corporation, a Michigan corporation, on behalf of the corporation.

My commission expires:

2/6/2012

[Signature]  
Notary Public,  
Washtenaw County, Michigan

This instrument drafted by:  
Scott Broshar P41006  
410 South Maple Road  
Ann Arbor, Michigan 48103

When recorded return to:  
Grantee

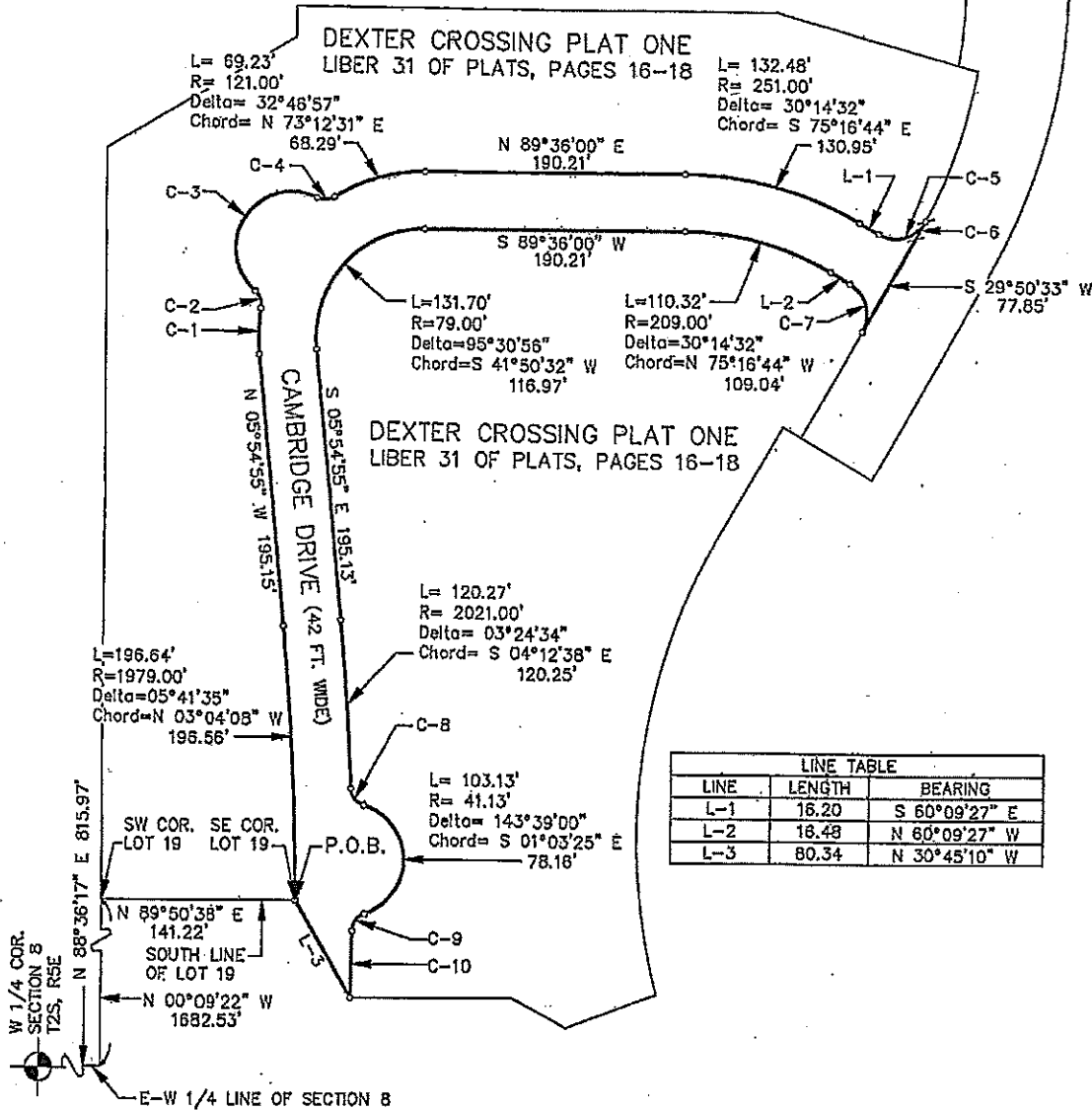
Recording fee: \$20.00

Send tax bills to:



CURVE LABEL	CURVE RADIUS	CURVE LENGTH	CENTRAL ANGLE	CHORD LENGTH	CHORD BEARING
C-1	121.00	32.81	15°32'04"	32.71	N 01°51'07" E
C-2	13.00	13.32	58°41'28"	12.74	N 19°43'34" W
C-3	41.13	118.16	164°34'46"	81.52	N 33°13'06" E
C-4	13.00	13.32	58°41'28"	12.74	N 68°09'46" E
C-5	25.00	40.27	92°17'01"	36.05	N 73°42'02" E
C-6	380.00	15.14	02°16'59"	15.14	S 28°42'03" W
C-7	25.00	39.27	90°00'00"	35.38	N 15°09'27" W
C-8	13.00	15.97	70°22'34"	14.98	S 37°41'38" E
C-9	13.00	15.97	70°22'34"	14.98	S 35°34'49" W
C-10	2021.00	47.57	01°20'55"	47.57	S 01°03'43" W

LEXINGTON DRIVE  
(VARIABLE WIDTH)



CLIENT: BLACKHAWK DEV. CORP.		DATE: 11-6-07
JOB NO.: 07245		SHEET 1 OF 2
SECTION: 8	TWN: 2S	RANGE: 5E
VILLAGE OF DEXTER		SCALE: 1 in. = 100 ft.
WASHTENAW COUNTY, MICHIGAN		BOOK:
		BY: M.V.V.

**MIDWESTERN CONSULTING**

Civil, Environmental and Transportation Engineers  
Planners, Surveyors  
Landscape Architects

3815 Plaza Drive  
Ann Arbor, Michigan 48108  
Phone: 734.953.0200  
Fax 734.953.0599



SKETCH OF CAMBRIDGE DRIVE, A 42' WIDE R.O.W. LOCATED IN DEXTER CROSSING PLAT ONE, VILLAGE OF DEXTER, T2S, R5E, WASHTENAW COUNTY, MICHIGAN

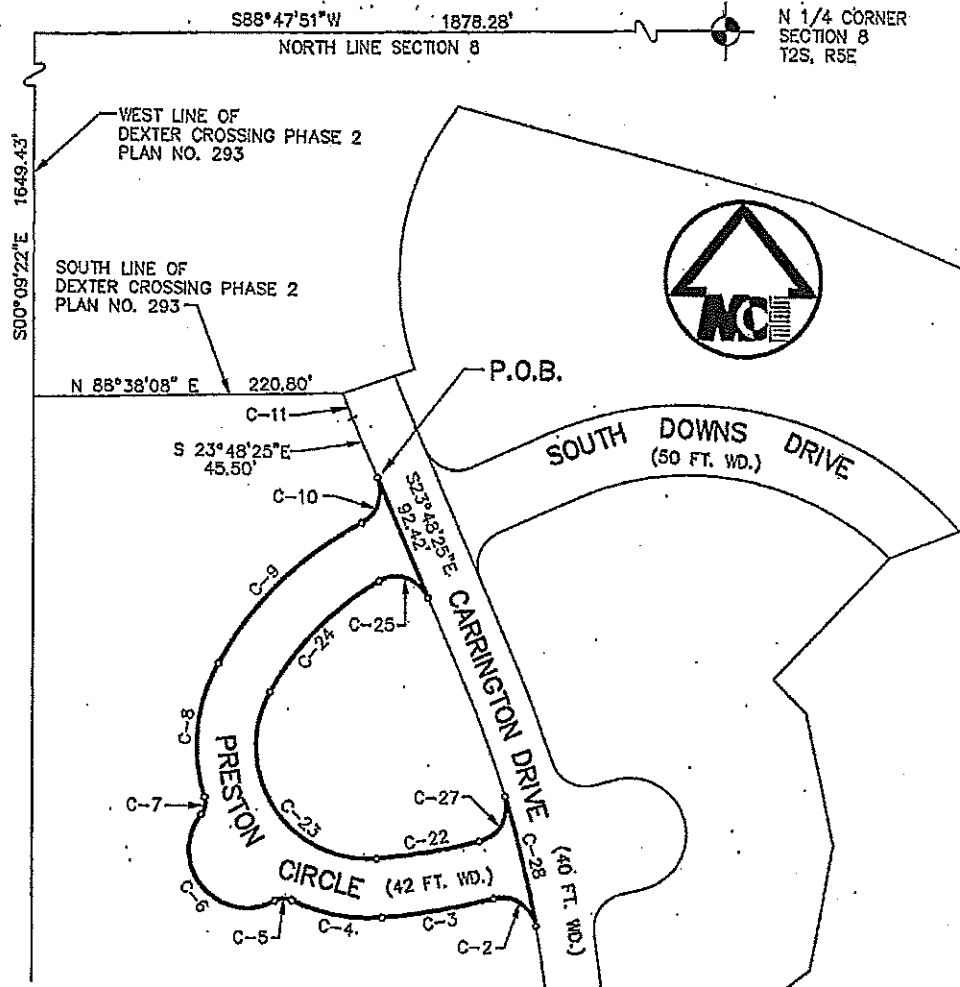
07245sv1

LEGAL DESCRIPTION OF A 42' WIDE RIGHT-OF-WAY  
COMMONLY KNOWN AS CAMBRIDGE DRIVE  
LOCATED IN THE NW 1/4 OF SECTION 8, T2S, R5E,  
VILLAGE OF DEXTER, WASHTENAW COUNTY, MICHIGAN

Commencing at the W 1/4 corner of Section 8, T2S, R5E, Village of Dexter, Washtenaw County, Michigan, thence N 88°36'17" E 815.97 feet along the E-W 1/4 line of said Section 8; thence N 00°09'22" W 1682.53 feet to the southwest corner of Lot 19 of Dexter Crossing Plat One as recorded in Liber 31 of Plats, pages 16-18; thence N 89°50'38" E 141.22 feet along the south line of said Lot 19 to the southeast corner of said Lot 19 and the POINT OF BEGINNING;

thence Northerly 196.64 feet in the arc of a non-tangential curve to the left, radius 1979.00 feet, central angle 05°41'35", and chord N 03°04'08" W 196.56 feet;  
thence N 05°54'55" W 195.15 feet;  
thence Northerly 32.81 feet in the arc of a circular curve to the right, radius 121.00 feet, central angle 15°32'04", and chord N 01°51'07" E 32.71 feet;  
thence Northerly 13.32 feet in the arc of a circular curve to the left, radius 13.00 feet, central angle 58°41'26", and chord N 19°43'34" W 12.74 feet;  
thence Northeasterly 118.16 feet in the arc of a circular curve to the right, radius 41.13 feet, central angle 164°34'46", and chord N 33°13'06" E 81.52 feet;  
thence Easterly 13.32 feet in the arc of a circular curve to the left, radius 13.00 feet, central angle 58°41'26", and chord N 86°09'46" E 12.74 feet;  
thence Easterly 69.23 feet in the arc of a circular curve to the right, radius 121.00 feet, central angle 32°46'57", and chord N 73°12'31" E 68.29 feet;  
thence N 89°36'00" E 190.21 feet;  
thence Easterly 132.48 feet in the arc of a circular curve to the right, radius 251.00 feet, central angle 30°14'32", and chord S 75°16'44" E 130.95 feet;  
thence S 60°09'27" E 16.20 feet;  
thence Easterly 40.27 feet in the arc of a circular curve to the left, radius 25.00 feet, central angle 92°17'01", and chord N 73°42'02" E 36.05 feet;  
thence Southwesterly 15.14 feet in the arc of a non-tangential curve to the right, radius 380.00 feet, central angle 02°16'59", and chord S 28°42'03" W 15.14 feet;  
thence S 29°50'33" W 77.85 feet;  
thence Northerly 39.27 feet in the arc of a non-tangential curve to the left, radius 25.00 feet, central angle 90°00'00", and chord N 15°09'27" W 35.36 feet;  
thence N 60°09'27" W 16.48 feet;  
thence Westerly 110.32 feet in the arc of a circular curve to the left, radius 209.00 feet, central angle 30°14'32", and chord N 75°16'44" W 109.04 feet;  
thence S 89°36'00" W 190.21 feet;  
thence Southwesterly 131.70 feet in the arc of a circular curve to the left, radius 79.00 feet, central angle 95°30'56", and chord S 41°50'32" W 116.97 feet;  
thence S 05°54'55" E 195.13 feet;  
thence Southerly 120.27 feet in the arc of a circular curve to the right, radius 2021.00 feet, central angle 03°24'34", and chord S 04°12'38" E 120.25 feet;  
thence Southeasterly 15.97 feet in the arc of a circular curve to the left, radius 13.00 feet, central angle 70°22'34", and chord S 37°41'38" E 14.98 feet;  
thence Southerly 103.13 feet in the arc of a circular curve to the right, radius 41.13 feet, central angle 143°39'00", and chord S 01°03'25" E 78.16 feet;  
thence Southwesterly 15.97 feet in the arc of a circular curve to the left, radius 13.00 feet, central angle 70°22'34", and chord S 35°34'49" W 14.98 feet;  
thence Southerly 47.57 feet in the arc of a circular curve to the right, radius 2021.00 feet, central angle 01°20'55", and chord S 01°03'43" W 47.57 feet;  
thence N 30°45'10" W 80.34 feet to the POINT OF BEGINNING, being a part of the NW 1/4 of Section 8, T2S, R5E, Village of Dexter, Washtenaw County, Michigan, and containing 1.03 acres of land, subject to easements and restrictions of record, if any.

CLIENT: BLACKHAWK DEV. CORP.	DATE: 11-6-07
JOB NO.: 07245	SHEET 2 OF 2
SECTION: 8      TWN: 2S      RANGE: 5E.	SCALE: 1in. = 100 ft.
VILLAGE OF DEXTER	BOOK: 
WASHTENAW COUNTY, MICHIGAN	BY: M.V.V.
<b>MIDWESTERN CONSULTING</b>  Civil, Environmental and Transportation Engineers Planners, Surveyors Landscape Architects 3815 Plaza Drive Ann Arbor, Michigan 48103 Phone: 734.995.0200 Fax 734.995.0599	
07245Id1	



CURVE LABEL	CURVE RADIUS	CURVE LENGTH	CURVE DELTA	CHORD LENGTH	CHORD BEARING
C-2	25.00'	40.97'	93°54'09"	36.54'	N 57°36'30" W
C-3	521.00'	82.24'	09°02'40"	82.16'	S 79°57'46" W
C-4	121.00'	66.01'	31°15'30"	65.20'	N 79°53'10" W
C-5	13.00'	12.54'	55°16'08"	12.06'	S 88°06'31" W
C-6	41.13'	112.86'	157°11'46"	80.65'	N 40°55'39" W
C-7	13.00'	12.54'	55°16'08"	12.06'	N 10°02'10" E
C-8	121.00'	97.99'	46°23'59"	95.33'	N 05°36'03" E
C-9	251.00'	144.37'	32°57'22"	142.39'	N 45°16'46" E
C-10	25.00'	37.33'	85°33'52"	33.96'	N 18°58'31" E
C-11	250.00'	18.90'	04°19'58"	18.90'	S 21°38'27" E
C-22	479.00'	75.36'	09°00'53"	75.29'	N 79°58'39" E
C-23	79.00'	171.41'	124°18'59"	139.71'	S 33°21'25" E
C-24	209.00'	112.09'	30°43'48"	110.76'	S 44°09'59" W
C-25	25.00'	42.18'	96°39'42"	37.35'	N 72°08'16" W
C-27	25.00'	41.52'	95°09'35"	36.91'	N 29°56'16" E
C-28	780.00'	95.09'	06°59'06"	95.03'	S 14°08'58" E

SKETCH OF PRESTON CIRCLE, A 42' WIDE R.O.W. LOCATED IN DEXTER CROSSING PHASE 5A, VILLAGE OF DEXTER, T2S, R5E, WASHTENAW COUNTY, MICHIGAN

CLIENT: BLACKHAWK DEV. CORP.	DATE: 10-23-06
JOB NO.: 02314	SHEET 1 OF 6
SECTION: 8 TWN: 2 S RANGE: 5 E	SCALE: 1in. = 100 ft.
VILLAGE OF DEXTER	BOOK: #617
WASHTENAW COUNTY, MICHIGAN	BY: SRG

**MIDWESTERN CONSULTING**

Civil, Environmental and Transportation Engineers  
 Planners, Surveyors  
 Landscape Architects



3815 Plaza Drive  
 Ann Arbor, Michigan 48103  
 Phone: 734.995.0200  
 Fax: 734.995.0599

02314SV13

LEGAL DESCRIPTION OF A 42' WIDE PUBLIC  
RIGHT-OF-WAY COMMONLY KNOWN AS PRESTON CIRCLE  
LOCATED IN SECTION 8, T2S, R5E,  
VILLAGE OF DEXTER, WASHTENAW COUNTY, MICHIGAN

Commencing at the N 1/4 corner of said Section 8; thence S 88°47'51" W, 1878.28 feet along the north line of said Section 8; thence S 00°09'22" E, 1649.43 feet along the West line of Dexter Crossing Phase 2 Plan No. 293; thence N 88°38'08" E, 220.80 feet along the South line of said Dexter Crossing Phase 2 to a point on the West line of Carrington Drive (40 feet wide), thence along the Westerly right-of-way of said Carrington Drive in the following (2) courses: Southerly 18.90 feet in the arc of a circular curve to the left, radius 250.00 feet, central angle 04°19'58", and chord S 21°38'27" E 18.90 feet, thence S 23°48'25" E 46.50 feet to the POINT OF BEGINNING;

thence S 23°48'25" E 92.42 feet;  
thence Westerly 42.18 feet in the arc of a non-tangential curve to the left, radius 25.00 feet, central angle 96°39'42", and chord N72°08'16" W 37.35 feet;  
thence Southwesterly 112.09 feet in the arc of a circular curve to the left, radius 209.00 feet, central angle 30°43'48", and chord S 44°09'59" W 110.76 feet;  
thence Southeasterly 171.41 feet in the arc of a circular curve to the left, radius 79.00 feet, central angle 124°18'59", and chord S 33°21'25" E 139.71 feet;  
thence Easterly 75.36 feet in the arc of a circular curve to the left, radius 479.00 feet, central angle 09°00'53", and chord N 79°58'39" E 75.29 feet;  
thence Northeasterly 41.52 feet in the arc of a non-tangential curve to the left, radius 25.00 feet, central angle 95°09'35", and chord N 29°56'16" E 36.91 feet to a point on the West right-of-way line of said Carrington Drive;  
thence Southerly 95.09 feet in the arc of a non-tangential curve to the right, radius 780.00 feet, central angle 06°59'08", and chord S 14°08'58" E 95.03 feet along the West right-of-way line of said Carrington Drive;  
thence Northwesterly 40.97 feet in the arc of a non-tangential curve to the left, radius 25.00 feet, central angle 93°54'09", and chord N 57°36'30" W 38.54 feet;  
thence Westerly 82.24 feet in the arc of a circular curve to the right, radius 521.00 feet, central angle 09°02'40", and chord S 79°57'46" W 82.16 feet;  
thence Westerly 68.01 feet in the arc of a circular curve to the right, radius 121.00 feet, central angle 31°15'30", and chord N 79°53'10" W 65.20 feet;  
thence Westerly 12.54 feet in the arc of a circular curve to the left, radius 13.00 feet, central angle 55°16'08", and chord S 88°06'31" W 12.06 feet;  
thence Northwesterly 112.86 feet in the arc of a circular curve to the right, radius 41.13 feet, central angle 157°11'46", and chord N 40°55'39" W 80.65 feet;  
thence Northerly 12.54 feet in the arc of a circular curve to the left, radius 13.00 feet, central angle 55°16'08", and chord N 10°02'10" E 12.06 feet;  
thence Northerly 97.99 feet in the arc of a circular curve to the right, radius 121.00 feet, central angle 46°23'59", and chord N 05°36'05" E 95.33 feet;  
thence Northeasterly 144.37 feet in the arc of a circular curve to the right, radius 251.00 feet, central angle 32°57'22", and chord N 45°16'46" E 142.39 feet;  
thence Northerly 37.33 feet in the arc of a circular curve to the left, radius 25.00 feet, central angle 85°33'52", and chord N 18°58'31" E 33.96 feet to the POINT OF BEGINNING, being a part of the NW 1/4 of Section 8, T2S, R5E, Washtenaw County, Michigan, and containing 0.52 acres of land, more or less, subject to easements and restrictions of record, if any.

CLIENT: BLACKHAWK DEV. CORP.	DATE: 10-23-06	
JOB NO.: 02314	SHEET 2 OF 6	
SECTION: 8 TWN: 2 S RANGE: 5 E	SCALE: 1 in. = 1 ft.	
VILLAGE OF DEXTER	BOOK: #617	
WASHTENAW COUNTY, MICHIGAN	BY: SRG	
<b>MIDWESTERN CONSULTING</b>  Civil, Environmental and Transportation Engineers Planners, Surveyors Landscape Architects 3815 Plaza Drive Ann Arbor, Michigan 48108 Phone: 734.995.0200 Fax: 734.995.0599		
		02314SV13 02314_L003

# VILLAGE OF DEXTER

WATER UTILITIES

8360 HURON ST.

DEXTER MI 48130

(734) 426-4572 FAX (734) 426-2208

October 13, 2006

Allison Bishop  
Community Development Manager  
Village of Dexter  
8140 Main St.  
Dexter, Mi. 48130

**Subject: Acceptance letter for Dexter Crossing 1.2.3.&4.**

Allison:

The Public Services Department has inspected phases 1 thru 4 in the Dexter Crossing subdivision. Inspections were made for all utilities. They were also made for sidewalk, and roadways. All punch list items have been satisfied.

Therefore the Public Services Department is recommending that these phases (1-4) of Dexter Crossing Subdivision be dedicated to the Village of Dexter.

Respectfully Submitted;



Ed Lobdell  
Public Services Supt.

# VILLAGE OF DEXTER

PUBLIC SERVICES DEPT.

8360 HURON ST.

DEXTER MI 48130

(734) 426-4572 FAX (734) 426-5466

January 19, 2007

Allison Bishop  
Community Development Manager  
Village of Dexter  
8140 Main St.  
Dexter, Michigan, 48130

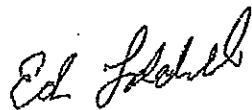
**Subject: Acceptance letter for Dexter Crossing Phase 5 & 5a.**

Allison:

The Public Services Department has inspected phases 5 and 5a in the Dexter Crossing subdivision. Inspections were made for all utilities. They were also made for sidewalk, and roadways. All punch list items have been satisfied.

Therefore, the Public Services Department is recommending that these phases (5-5a) of Dexter Crossing Subdivision be dedicated to the Village of Dexter.

Respectfully Submitted;



Ed Lobdell  
Public Services Supt.

Village  
8113





AGENDA 12-10-07

ITEM L-6

VILLAGE OF DEXTER  
WASHTENAW COUNTY  
STATE OF MICHIGAN

RESOLUTION REGARDING  
2008 DTE TREE PLANTING GRANT APPLICATION

WHEREAS, the Dexter Village Council has been advised by the Tree Board that trees are a valuable asset to the village's character and environment; and

WHEREAS, the Tree Board has adopted the following mission statement,

*To preserve, enhance and foster the growth of a variety of trees within the Village of Dexter that contribute to the character and ambience of our small town, as well as help improve the environment by providing habitat, shade, improved air quality and naturally manage stormwater;* and

WHEREAS, replacement of trees restores canopy loss within the village, sustains and enhances the village as a livable community with an extensive, thriving urban forest that provides aesthetic and environmental benefits; and

WHEREAS, the Tree Board has almost completed Tree Management Plan in an effort to protect the Village's of Dexter's urban forest and to ensure that the urban forest remains an assets well into the future; and

WHEREAS, preliminary goals and objectives established by the Tree Board in the Tree Management Plan supports grant applications to obtain funding; and

WHEREAS, the Dexter Village Council wishes continue to support the goals and objectives of the Tree Board;

BE IT THEREFORE RESOLVED, that the Village of Dexter Village Council supports submittal of the DTE Tree Planting Grant application.

MOVED BY: \_\_\_\_\_ SUPPORTED BY: \_\_\_\_\_

YEAS: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

RESOLUTION DECLARED ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

\_\_\_\_\_, Village President

CERTIFIED BY:

\_\_\_\_\_  
David Boyle, Village Clerk



VILLAGE OF DEXTER  
WASHTENAW COUNTY, MICHIGAN

**RESOLUTION FOR THE PURPOSE OF AUTHORIZING STAFF AND THE PARKS  
COMMISSION TO CONTRACT WITH OHM FOR ENGINEERING AND DESIGN  
SERVICES FOR THE COMMUNITY PARK PLAY COURT**

WHEREAS, the Village of Dexter Council has budgeted \$55,000 for improvements to Community Park;  
and

WHEREAS, the Village Parks Commission has recommended that the budgeted funding be used for the  
design and construction of a play court in Community Park; and

WHEREAS, the Village Parks Commission has received a quote from a play court recreation provider;  
and

WHEREAS, the quote did not include site work, landscaping, drainage provisions or a required retaining  
wall; and

WHEREAS, engineering details for the retaining wall, drainage and site work must be included in the  
project bid package to assure that the project is properly constructed; and

WHEREAS, a bid package must be created including engineering details including retaining wall,  
drainage and site work; and

WHEREAS, OHM has provided a scope of work to help complete a bid package and engineering details  
for the project; and

WHEREAS, OHM's scope of services would cost \$9300, but OHM has offered to do \$4300 worth of the  
work pro bono;

BE IT THEREFORE RESOLVED, that the Village of Dexter Council authorizes staff and the Parks  
Commission to work with OHM to create a bid package and the necessary engineering details, etc.  
required for the Community Park play court in an amount not to exceed \$5000.

MOVED BY: \_\_\_\_\_ SUPPORTED BY: \_\_\_\_\_

YEAS: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

RESOLUTION DECLARED ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

CERTIFIED BY:

\_\_\_\_\_, Village President

\_\_\_\_\_, David Boyle, Village Clerk

November 14, 2007

Village of Dexter  
8123 Main Street  
Dexter, MI 48130



Attn: Allison Bishop  
Community Development Manager

Re: Outdoor Basketball Court  
Scope of Engineering Services

Dear Ms. Bishop:

Orchard, Hiltz & McCliment, Inc. (OHM) is pleased to submit this proposal for engineering design services of an outdoor basketball court within the Village of Dexter. It is our understanding that the Village of Dexter would like construct an outdoor, concrete basketball court on the property north of Dexter Plaza where the Village's wellfield pump house exists east of Ryan Drive. The court will become part of the park system within the Village of Dexter.

Based on the topography of the potential court location, it is expected that substantial grading, including construction of a retaining wall, may be necessary to accommodate the basketball court. In addition, some storm drainage design is recommended to promote positive drainage of the site, and in turn, extend the life of the concrete basketball court.

### Scope of Services

Below is our proposed scope of services for engineering design services for the outdoor basketball court. The following items are included in the scope:

1. Collect complete topographic survey for the proposed location of the basketball court bordered by the driveway to the wellfield pump house, the property to the south, and Ryan Drive.
2. Provide the Village with a preliminary site layout drawing, and meet with the Village staff to review and confirm the items to be included in the design.
3. Prepare engineering drawings for the project. The plans are anticipated to include complete detailed design of the concrete basketball court including a court cross-section, and retaining wall, grading and drainage design.
4. Identify project impacts to utilities and property. General right-of-way and easement requirements will be identified, though no additional ROW or easement needs are anticipated.
5. Prepare limited contract documents in the form of an Invitation to Bid. Project details and pay items relating to the concrete cross-section, the retaining wall, grading and drainage will be provided. Items relating to any potential landscaping, electrical work, or basketball court amenities (i.e. court striping/painting, basketball hoop, etc) will not be provided. OHM will not complete any advertisement, bidding, or contract execution for the project.

### Deliverables

OHM will provide the Village with the following:

- Engineering design plans
- Limited contract documents

### Schedule

OHM can begin work upon receipt of authorization. We anticipate that the project can be completed within 8 weeks of the authorization.

### Additional Services

In the event it becomes apparent that additional tasks will be required to complete the analysis, OHM will provide a separate proposal for professional services to the Village for approval prior to carrying out those items.

### Fee

OHM proposes to provide the above outlined professional services for an amount not to exceed \$9,300.00. The fee breakdown is as follows:

Topographic Survey and Preliminary Site Layout	\$1,200.00
Engineering Plans	\$7,000.00
Contract Documents	\$1,100.00

# 4300  
pro bono

Compensation will be based on hourly rates times the cumulative hours worked. OHM will invoice the Village on a monthly basis.

### Contract Terms and Conditions

The attached Standard Terms and Conditions, dated March 2003 and as shown as Exhibit 1, are incorporated into this proposal by reference. Section No. 7 is omitted per request of the Village.

We thank you for this opportunity to provide professional engineering services. Please do not hesitate to contact us if you have questions. Should you find our proposal acceptable, please execute both copies of the attached agreement and return one copy to us for our files.

Very truly yours,  
ORCHARD, HILTZ & McCLIMENT, INC.

*Christine A. Cale*

Christine A. Cale, P.E.  
Project Engineer

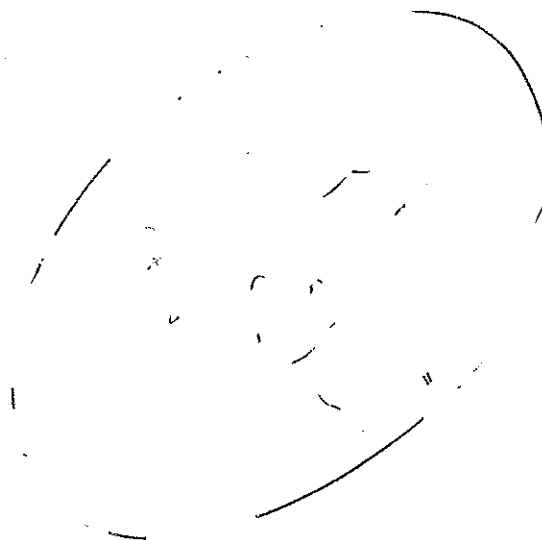
**Village of Dexter  
Outdoor Basketball Court Engineering Design**

Accepted By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



**EXHIBIT 1**  
**STANDARD TERMS and CONDITIONS**

1. **THE AGREEMENT** – These Standard Terms and Conditions and the attached Proposal or Scope of Services, upon their acceptance by the Owner, shall constitute the entire Agreement between Orchard, Hiltz & McCliment, Inc. (OHM), a registered Michigan Corporation, and the Owner. The Agreement shall supersede all prior negotiations or agreements, whether written or oral, with respect to the subject matter herein. The Agreement may be amended only by mutual agreement between OHM and the Owner and said amendments must be in written form.

2. **SERVICES TO BE PROVIDED** – OHM will perform the services as set forth in the attached proposal or scope of services which is hereby made a part of the Agreement.

3. **SERVICES TO BE PROVIDED BY OWNER** – The Owner shall at no cost to OHM:

- a) Provide OHM personnel with access to the work site to allow timely performance of the work required under this Agreement.
- b) Provide to OHM within a reasonable time frame, any and all data and information in the Owners possession as may be required by OHM to perform the services under this Agreement.
- c) Designate a person to act as Owners representative who shall have the authority to transmit instructions, receive information, and define Owner policies and decisions as they relate to services under this Agreement.

4. **PERIOD OF SERVICE** – The services called for in this Agreement shall be completed within the time frame stipulated in the Proposal or Scope of Services, or if not stipulated shall be completed within a time frame which may reasonably be required for completion of the work. OHM shall not be liable for any loss or damage due to failure or delay in rendering any service called for under this agreement resulting from any cause beyond OHM's reasonable control.

5. **COMPENSATION** – The Owner shall pay OHM for services performed in accordance with the method of payment as stated in the Proposal or Scope of Services. Method of compensation may be lump sum, hourly; based on a rate schedule, percentage of the construction cost, or cost plus a fixed fee. The Owner shall pay OHM for reimbursable expenses for

subconsultant services, equipment rental or other special project related items at a rate of 1.15 times the invoice amount.

6. **TERMS OF PAYMENT** – Invoices shall be submitted to the Owner not more often than monthly for services performed during the preceding period. Owner shall pay the full amount of the invoice within thirty days of the invoice date. If payment is not made within thirty days, the amount due to OHM shall include a charge at the rate of one percent per month from said thirtieth day.

7. **LIMIT OF LIABILITY** – OHM shall perform professional services under this Agreement in a manner consistent with the degree of care and skill in accordance with applicable professional standards of services of this type of work. To the fullest extent permitted by law, and notwithstanding any other provision of this Agreement, the total liability in the aggregate, of OHM and its Officers, Directors, Partners, employees, agents, and subconsultants, and any of them, to the Owner and anyone claiming by, through or under the Owner, for any and all claims, losses, costs or damages of any nature whatsoever arises out of, resulting from or in any way related to the project or the Agreement from any cause or causes, including but not limited to the negligence, professional errors or omissions, strict liability, breach of contract or warranty, express or implied, of OHM or OHM's Officers, Directors, employees, agents or subconsultants, or any of them shall not exceed the amount of \$25,000 or OHM's fee, whichever is greater.

8. **ASSIGNMENT** – Neither party to this Agreement shall transfer, sublet, or assign any duties, rights under or interest in this Agreement without the prior written consent of the other party.

9. **NO WAIVER** – Failure of either party to enforce, at anytime, the provisions of this Agreement shall not constitute a waiver of such provisions or the right of either party at any time to avail themselves of such remedies as either may have for any breach or breaches of such provisions.

10. **GOVERNING LAW** – The laws of the State of Michigan will govern the validity of this Agreement, its interpretation and performance.

11. DOCUMENTS OF SERVICE -- The Owner acknowledges OHM's reports, plans and construction documents as instruments of professional services. Nevertheless, the plans and specifications prepared under this Agreement shall become the property of the Owner upon completion of the work and payment in full of all monies due OHM, however, OHM shall have the unlimited right to use such drawings, specifications and reports and the intellectual property therein. The Owner shall not reuse or make any modifications to the plans and specifications without prior written authorization by OHM. In accepting and utilizing any drawings or other data on any electronic media provided by OHM, the Owner agrees that they will perform acceptance tests or procedures on the data within 30 days of receipt of the file. Any defects the Owner discovers during this period will be reported to OHM and will be corrected as part of OHM's basic Scope of Services.

12. TERMINATION -- Either party may at any time terminate this Agreement upon giving the other party 7 calendar days prior written notice. The Owner shall within 45 days of termination, pay OHM for all services rendered and all costs incurred up to the date of termination in accordance with compensation provisions in this Agreement.

13. OHM'S RIGHT TO SUSPEND ITS SERVICES -- In the event that the Owner fails to pay OHM the amount shown on any invoice within 60 days of the date of the invoice, OHM may, after giving 7 days notice to the Owner, suspend its services until payment in full for all services and expenses is received.

14. OPINIONS OF PROBABLE COST -- OHM's preparation of Opinions of Probable Cost represent OHM's best judgment as a design professional

familiar with the industry. The Owner must recognize that OHM has no control over costs or the prices of labor, equipment or materials, or over the contractor's method of pricing. OHM makes no warranty, expressed or implied, as to the accuracy of such opinions as compared to bid or actual cost.

15. JOB SITE SAFETY -- Neither the professional activities of OHM, nor the presence of OHM or our employees and subconsultants at a construction site shall relieve the General Contractor or any other entity of their obligations, duties, and responsibilities including, but not limited to, construction means, methods, sequences, techniques or procedures necessary for performing, superintending or coordinating all portions of the work of construction in accordance with the contract documents and the health or safety precautions required by any regulatory agency. OHM has no authority to exercise any control over any construction contractor or any other entity or their employees in connection with their work or any health or safety precautions. The Owner agrees that the General Contractor is solely responsible for jobsite safety, and warrants that this intent shall be made clear in the Owners agreement with the General Contractor. The Owner also agrees that OHM shall be indemnified and shall be made additional insureds under the General Contractors general liability insurance policy.

16. DISPUTE RESOLUTION -- In an effort to resolve any conflicts that arise during the design or construction of the project or following the completion of the project, the Owner and OHM agree that all disputes between them arising out of or relating to this Agreement shall be submitted to nonbinding mediation, unless the parties mutually agree otherwise.





VILLAGE OF DEXTER - COMMUNITY DEVELOPMENT OFFICE  
8140 Main Street • Dexter, Michigan 48130-1092 • (734) 426-8303 • Fax (734) 426-5614

ITEM L-8

Memorandum

To: Village Council  
Donna Dettling, Village Manager  
From: Allison Bishop, AICP, Community Development Manager  
Re: Park Use Gazebo Fee  
Date: December 10, 2007

The Parks Commission has recommended that a fee be established for the rental of the gazebos in the Village by non-residents. The resolution being recommended lists the Parks Commission rationale for the recommendation.

The recommended fee is \$150 for 4 hours and \$50 for each additional hour.

The Park Use permit has also been revised to outline the administrative procedures and the processes and responsibilities for persons renting the gazebos. The revised permit is attached.

Please feel free to contact me prior to the meeting with questions.  
Thank you,

---

**VILLAGE OF DEXTER**  
**WASHTENAW COUNTY, MICHIGAN**

---

**RESOLUTION FOR THE PURPOSE OF ESTABLISHING A FEE FOR THE USE  
OF VILLAGE GAZEBOS FOR NON VILLAGE RESIDENTS**

WHEREAS, the Village of Dexter has three (3) gazebos within parks throughout the Village; and

WHEREAS, the gazebos are a symbol of the Village of Dexter and have been purchased and constructed with funds from donations and tax dollars; and

WHEREAS, the gazebos are considered a Village asset and require maintenance; and

WHEREAS, Parks Commission has explored establishing a fee for the use of the gazebos by non Village residents; and

WHEREAS, the Parks Commission recommends that Village residents and the Chamber not be required to pay the fee; and

WHEREAS, the Parks Commission has recommended that the fee be established to generate revenue to help fund maintenance and other park improvements;

BE IT THEREFORE RESOLVED, that the Village of Dexter establishes a fee of \$150 for four (4) hours for the use of any of the Village gazebos. A fee of \$50 per hour will be assessed for any gazebo reservation exceeding four (4) hours.

MOVED BY: \_\_\_\_\_ SUPPORTED BY: \_\_\_\_\_

YEAS: \_\_\_\_\_

NAYS: \_\_\_\_\_

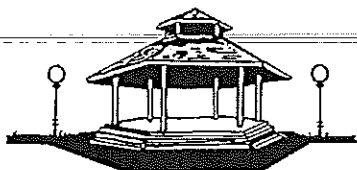
ABSENT: \_\_\_\_\_

RESOLUTION DECLARED ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

\_\_\_\_\_, Village President

CERTIFIED BY:

\_\_\_\_\_  
David Boyle, Village Clerk



## VILLAGE OF DEXTER-PARKS COMMISSION

8140 Main Street • Dexter, Michigan 48130-1092 • (734) 426-8303 • Fax (734) 426-5614

### Park Use Permit

*For Office Use Only*

- ☐ Village Resident  
☐ Non-Village Resident  
☐ Chamber  
☐ Other

POSTED: \_\_\_\_\_

FEE: \_\_\_\_\_ REC#: \_\_\_\_\_

Date \_\_\_\_\_

Applicant/Sponsoring Party \_\_\_\_\_ Phone \_\_\_\_\_

Contact Person \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_

City, State, Zip \_\_\_\_\_

Name, address or the person[s], corporation or association sponsoring the activity, if any:

\_\_\_\_\_  
\_\_\_\_\_

Day and hours for which the permit is desired\*: \_\_\_\_\_

\*Non Village Residents -\$150/4 hours, \$50 each additional hour, Residents - Free

Park, or portion thereof, for which the permit is desired: \_\_\_\_\_

\_\_\_\_\_  
Brief description of planned activity: \_\_\_\_\_

\_\_\_\_\_  
Parks Commission Approval/Denial date: \_\_\_\_\_

With the following conditions: \_\_\_\_\_

\_\_\_\_\_  
Approved/Denied on \_\_\_\_\_ By: \_\_\_\_\_

Community Development Manager

**The following activities require a Parks Use Permit (check those that apply):**

- ☐ Conduct exhibitions.
- ☐ Hold a parade.
- ☐ Display, or offer for sale, any article in any park or recreation area.
- ☐ Hold assembly involving 30 participants or more (exempts classroom activities).
- ☐ Construct or erect any building or structure of whatever kind, whether permanent or temporary or sell or give away from such tent, stand or other structure any food, drink, or other thing, or run or string any public service utility into, upon or across such lands.
- ☐ Distribute, deliver or place any bill, billboard, placard, banner, circular, or other advertisement.
- ☐ Furnish and/or consume any beer, wine, or other alcoholic beverage within the boundaries of any park or recreation area.

**Terms of Use:**

As a representative for and on behalf of the Sponsoring Party, I understand and acknowledge that:

1. Sponsoring parties, that are individual residents, or commercial or non-profit enterprises with a State registered operating address within the Village of Dexter, are entitled to use the Village parks and assets of the parks at no charge. All other sponsoring parties will be charged non-resident fees at a *minimum* rate of \$150. This rate is a block rate and allows the Sponsoring Party a maximum of four contiguous hours of rental use. Additional hours may be requested and authorized at a rate of \$50 per hour.
2. In instances where permit applications are filed for the same park for all or part of the same day and time period then priority consideration will go first to a Sponsoring Party which is resident to the Village of Dexter and then, secondly, to the submitted application received earliest in the Village offices.
3. If the Sponsoring Party is authorized to use a park gazebo or other designated facility or space, we can expect to have exclusive use of that gazebo, facility or designated space for the period defined in this permit.
4. The park, in which the authorized activity will be located, will continue to be open for use by the public during the period of the authorized activity and the authorized activity or use of the park will not unreasonably interfere with or detract from the general public's enjoyment of the park during the authorized hours of the event.
5. The authorized activity or use will not unreasonably interfere with the promotion of public health, welfare, safety and recreation consistent with the park's mission.
6. The authorized activity or use will not include or cause violence, crime or disorderly conduct on the part of any individual participating in the authorized event, activity, or use.
7. Village of Dexter parks and park facilities are valuable community assets and, as such, are to be treated with respect and care including, but not limited to, all structures, lighting, benches, and related physical assets. No modifications are to be made to any park or park asset without the express written consent of the Village of Dexter. All natural areas, trees, boulders, and other landscaping, and memorials are to be protected from damage and not subject to wear and tear from either human or animal activity.
8. Loading and unloading is not permitted within the parks, or on the grass or sidewalks without the express written consent of the Village of Dexter. If loading and unloading is required temporary road closures may be arranged. A damage deposit will be required for large events in which loading and unloading is likely. The damage deposit is to assure that potential repair costs are covered, if applicable, and determined solely by the Village of Dexter. The deposit will be returned upon inspection of the facilities the following workday.

9. The Sponsoring Party agrees that all site clean-up is the responsibility of the Sponsoring Party and not the Village of Dexter.
10. To the best of the Sponsoring Party's ability, the authorized activity will not require or cause unanticipated or unauthorized expense by the Village of Dexter, its departments, units or services, or its community police operations. The Village of Dexter and/or its community police operation reserve the right to invoice the Sponsoring Party for additional costs incurred as a result of the authorized use specified in this application. It will be the responsibility of the Sponsoring Party to pay such costs. Such costs may be related but not limited to police services, damage to facilities, landscaping, sidewalks, grass, or other park assets, or post-activity area or facility clean-up.
11. Additional anticipated costs to the Village of Dexter and/or its community police operations may require a deposit prior to the permit being granted. This deposit is not intended to relieve the Sponsoring Party of any additional financial obligations resulting from the authorized activity or use.
12. Rental fees and deposits, if applicable, must be paid in full before the permit is granted.
13. The Village of Dexter will post a copy of the permit at the site of the authorized activity or use.
14. The Sponsoring Party must also provide a copy of the permit, if requested, at the event.

## Hold Harmless Agreement

To the fullest extent permitted by law, \_\_\_\_\_, the Sponsoring Party, agrees to defend, pay in behalf of, indemnify, and hold harmless the Village of Dexter, its elected and appointed officials, employees and volunteers and others working in behalf of the Village of Dexter against any and all claims, demands, suits, or loss, including all costs connected therewith, and for any damages which may be asserted, claimed or recovered against or from the Village of Dexter, its elected and appointed officials, employees, volunteer or others working in behalf of the Village of Dexter, by reason of personal injury, including bodily injury or death and/or property damage, including loss of use thereof, which arises out of or is in any way connected or associated with this contract.

Date \_\_\_\_\_ Signed \_\_\_\_\_

***Thank you for supporting Dexter Parks and the Village of Dexter.***

*Please let us know how we can help by contacting the Village offices at 734-426-8303.*

*We encourage you to contact the Dexter Chamber of Commerce at 734-426-0887 if you are in need of catering or other commercial service assistance.*





# VILLAGE OF DEXTER - COMMUNITY DEVELOPMENT OFFICE

8140 Main Street • Dexter, Michigan 48130-1092 • (734) 426-8303 • Fax (734) 426-5614

AGENDA 12-10-07

ITEM L-9

## Memorandum

To: Village Council  
Donna Dettling, Village Manager  
From: Allison Bishop, AICP, Community Development Manager  
Re: Tree City USA  
Date: December 10, 2007

The Tree Board has recommended that the Village apply to be a Tree City USA through the Arbor Day Foundation. Information on Tree City USA is attached.

As part of the Tree City USA application there are several criteria that must be met when requesting to become a Tree City.

1. Tree Board (Village has)
2. Tree Ordinance (Village has)
3. \$2 per capita on trees (Village does)
4. Arbor Day Celebration and Proclamation

In order to apply for Tree City status the Tree Board recommends that the Council adoption is attached proclamation, as provided by the Arbor Day Foundation, proclaiming April 25<sup>th</sup> Arbor Day.

As part of Tree City USA the Arbor Day Celebration will be organized for Friday, April 25<sup>th</sup>. The Tree Board will work with local community organizations to plant trees and hold a small celebration to encourage tree planting and to educate residents on the importance of trees in our community.

From the Arbor Day Tree City USA website,

An Arbor Day celebration can be simple and brief or an all-day or all-week observation. It can be a simple tree planting event or an award ceremony that honors leading tree planters. For children, Arbor Day may be their only exposure to the green world or a springboard to discussions about the complex issue of environmental quality. The benefits of Arbor Day go far beyond the shade and beauty of new trees for the next generation. Arbor Day is a golden opportunity for publicity and to educate homeowners about proper tree care. Utility companies can join in to promote planting small trees beneath power lines or being careful when digging. Smokey Bear's fire prevention messages can be worked into the event, as can conservation education about soil erosion or the need to protect wildlife habitat.

Please feel free to contact me prior to the meeting with questions.  
Thank you,

# Arbor Day Proclamation

## Celebrate Arbor Day



Whereas, In 1872, J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees, and

Whereas, this holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska, and

Whereas, Arbor Day is now observed throughout the nation and the world, and

Whereas, trees can reduce the erosion of our precious topsoil by wind and water, cut heating and cooling costs, moderate the temperature, clean the air, produce life-giving oxygen, and provide habitat for wildlife, and

Whereas, trees are a renewable resource giving us paper, wood for our homes, fuel for our fires, and beautify our communities, and

Whereas, trees wherever they are planted, are a source of joy and spiritual renewal,

Now, Therefore, The Village of Dexter Council, does hereby proclaim Friday, APRIL 25, 2008 as Arbor Day in the Village of Dexter, and urge all citizens to celebrate Arbor Day and to support efforts to protect our trees and woodlands, and

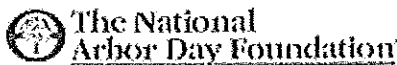
Further, We urge all citizens to plant trees to gladden the heart and promote the well-being of this and future generations.

Dated this \_\_\_\_\_ day of \_\_\_\_\_

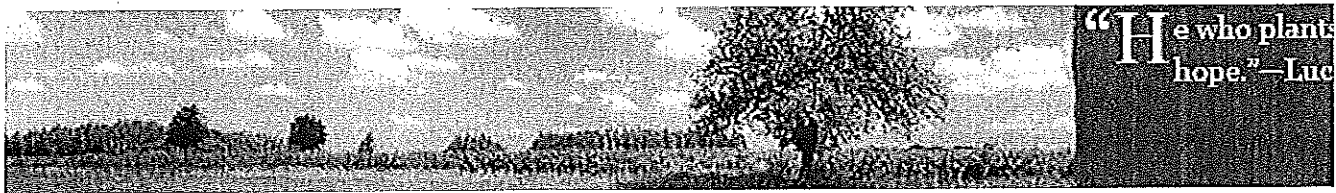
Village President \_\_\_\_\_

Village Clerk \_\_\_\_\_





We inspire people to plant,  
nurture, and celebrate trees.



You are here: [Home](#) → [Programs](#) → [Tree City USA](#) → Benefits of Being a Tree City

## Tree City Benefits



**TREE CITY USA.**

Every community, regardless of size, benefits in different ways from being a Tree City USA.

Reports of these benefits have reached The Arbor

Day Foundation through the years and are summarized below in six general categories:

**Request an  
Application**

### Framework for Action

Meeting the four standards for becoming a Tree City USA provides initial direction for an urban or community forestry program. Like the first rungs on a ladder, the standards help get a community started toward annual, systematic management of its tree resources.

### Education

Education begins with discussion of the standards and getting organized to apply for Tree City USA status. It continues as the desire for Tree City USA recognition leads to contacts with the state forester's staff. In turn, this can set in motion aid from a variety of professionals in the form of technical advice, literature, films, and other assistance.

### Public Image

A community's public image is a very real phenomenon and important in many ways. Being a Tree City USA helps present the kind of image that most citizens want to have for the place they live or conduct business. The Tree City USA signs at community entrances tell visitors that here is a community that cares about its environment. It is also an indication to prospective businesses that the quality of life may be better here. It has even been known to be a factor in where meetings or conferences have been held. This reason alone caused a motel owner to start action for his community to join the network!

## Citizen Pride

Pride is sometimes a less tangible benefit. Gaining and retaining Tree City USA recognition is an award to the tree workers, managers, volunteers, tree board members and others who work on behalf of better care of a community's trees. Non-involved citizens, too, often share a sense of pride that theirs is a Tree City USA. This may translate to better care of trees on private property or a willingness to volunteer in the future.

## Financial Assistance

Preference is sometimes given to Tree City USA communities over other communities when allocations of grant money are made for trees or forestry programs. The reason is that there are invariably more requests than available funds when grants are available through state or federal agencies. If requests are equally worthy, some officials tend to have more confidence in communities that have demonstrated the foresight of becoming a Tree City USA.

## Publicity

Presentation of the Tree City USA award and the celebration of Arbor Day offer excellent publicity opportunities. This results not only in satisfaction for the individuals involved and their families, but also provides one more way to reach large numbers of people with information about tree care. As one forester put it, "This is advertising that money can't buy—and it is free!"

## More Information

To receive a free Tree City USA booklet:

**Call:** (402) 474-5655

Monday–Friday

8:00 A.M. to 5:00 P.M. CST

**E-mail:** [treecity@arborday.org](mailto:treecity@arborday.org)

## Help Support Tree City USA where you live.

Tree City USA is supported by the USDA Forest Service Urban and Community Forestry Program.

AGENDA 12-10-07

ITEM L-10

**OHM**

Engineering Advisors

November 30, 2007

Village of Dexter  
8123 Main Street  
Dexter, MI 48130

Attn: Donna Dettling  
Village Manager

Re: Wastewater System Modeling – Storage Sizing & Rehabilitation Analysis  
Scope of Engineering Services

Dear Ms. Dettling:

Orchard, Hiltz & McCliment, Inc. (OHM) is pleased to submit this proposal for engineering services to perform wastewater system modeling. While it has been expected that modeling would be required to finalize the sizing of the proposed equalization basin at the time of the design, recent discussions with the Michigan Department of Environmental Quality (MDEQ) have accelerated the need for the modeling results..

### **Project Understanding**

The purpose of this proposal is to address some of the action items as a result of recent meetings with the MDEQ on October 22, 2007, and November 19, 2007. We propose to develop a model of the sanitary sewer system flows, based on data collected by the Parshall Flume meter at the WWTP during 2007. The model will then be run for a long period of flows to develop an equalization basin size using the 10-year storm event frequency criteria in MDEQ's policies.

A second model will be developed based on the 2005 WWTP flow metering data (pre-manhole rehabilitation), and a comparison made between the two models. The comparison shall determine the magnitude of the predicted wet weather flow decrease, as a result of the manhole rehabilitation. The flows will be converted to Residential Equivalent Units (REUs) to present to the MDEQ and provide evidence to assist with the issuance of Part 41 permits on the system. A more detailed description of the work plan follows.

### **Scope of Services**

The Village of Dexter is considering a sanitary equalization basin at the WWTP to store peak flows from wet weather events and equalize flows discharged to the WWTP. This will increase the Village's treatment capacity, enabling continued planned growth in the sewer system.

Traditional sizing approaches for an equalization basin involve collecting flow metering data from wet weather events and calibrating a hydrologic model to the observed inflow and infiltration (I/I) response from rain events. The model is then used to extrapolate the design flows for a 25-year, 24-hour storm, per the MDEQ Sanitary Sewer Overflow (SSO) Policy Statement. The drawback of this approach is that it does not account for antecedent moisture effects on the flows. The same size rain event produces a higher flow response in the sewer system when antecedent conditions are wet and a lower flow response when they are dry.

Frequently, the wetter condition is selected for sizing facilities in order to be conservative, which leads to over-sizing. This results in a higher capital cost than is necessary.

OHM proposes to utilize a new approach for sizing the equalization basin for the Village of Dexter. This approach uses a new hydrologic model called the i3D antecedent moisture model, which accounts for the variations in wetness conditions on the sewer flows. The model accurately simulates the variations in flow from wet and dry antecedent conditions and matches observed flow data very well. Once an accurate antecedent moisture model is developed, it can be used to size the storage using a frequency analysis. The frequency analysis is based on the MDEQ SSO Policy Statement, which allows sewer improvements to be sized for the 10-year frequency flows as an alternative to the 25-year, 24-hour storm. This eliminates the need to select a wetness condition for sizing the equalization basin, because the antecedent moisture model can be used to simulate a long-period of flows (i.e. 50 years), and then used to determine the storage volume that will not get exceeded statistically more often than once in ten years. It also eliminates many of the conservative assumptions that frequently lead to an over-sizing with the traditional approach. The MDEQ has accepted this approach on four other projects prepared by OHM. Two of the projects were previously sized based on a traditional approach that the community did not have confidence in, and the use of the antecedent moisture model resulted in substantial cost savings.

A second model will be developed based on the 2005 flow data, which is prior to the 2006 manhole rehabilitation work. A comparison will be made between the two models to determine the flow removal achieved by the rehabilitation program. We have developed this scope of services for the Sanitary Sewer System Modeling. This project includes the following specific tasks:

## **1. Development of Antecedent Moisture Models**

- Obtain flow meter and rainfall data for modeling. 2007 data is available electronically, and flows for key storms from 1-2 other years will be taken from the paper circular charts.
- Separate the diurnal flows from the I/I flow signal with the diurnal filter tool.
- Develop and calibrate the antecedent moisture model.
- Identify any atypical signals in the data that do not appear to be from rainfall dependent I/I (river inflow, large user sewerage flow variations, hydraulic effects, etc).
- Validate the models using a portion of the data excluded from the calibration process.
- Provide an evaluation of system characteristics based on model results (i.e. severity of wet response, severity of antecedent moisture variation).
- Prepare continuous plots of model fits.
- Prepare plots of model fits for 4 largest system events each year.

## **2. Frequency Analysis and EQ Basin Sizing**

- Collect long-term climatological data from a nearby National Weather Service station.
- Prepare long-term continuous model from historic climatological data.
- Perform frequency analysis for both peak flows and equalization storage volume.
- Compare peak flow frequency analysis to metered statistics (assuming long enough record of data is available) as an additional measure of model accuracy.
- Evaluate the required equalization storage volume sizing using several assumed WWTP capacities to produce a curve of required storage volume versus WWTP capacity.

- Using cost information from past studies, examine the cost effectiveness of WWTP upgrades on reductions in the required equalization storage volume.

#### **4. Manhole Rehabilitation Analysis**

- Convert March – July of 2005 flow chart data to digital format
- Develop a revised antecedent moisture model to the 2005 data
- Compare the two models to determine the projected flow reduction
- Convert the flow reduction to a residential equivalent unit basis (REUs).

#### **3. Report**

- Prepare a Sanitary Technical Memorandum that summarizes the findings and conclusions.
- Include plots of the continuous model fits, the accuracy of fit for large storms and the statistical frequency analysis.
- Meet with the Village to review the findings of the sanitary equalization basin sizing and present a draft of the technical memorandum.
- Incorporate any comments and finalize the Sanitary Equalization Basin Sizing Technical Memorandum.

#### **Deliverables**

OHM will provide the Village and MDEQ with copies of the final report that summarizes the findings and conclusions of the analysis.

#### **Schedule**

OHM can begin work on the project immediately upon authorization. We expect that tasks 1 -3 will be completed in 6 weeks, and we will hold a preliminary meeting with the Village to review the results. The final report will be completed within 2 weeks following the meeting, and submitted for the MDEQ for review by the end of January 2008.

#### **Additional Services**

In the event it becomes apparent that additional tasks will be required to complete the analysis, OHM will provide a separate proposal for professional services to the Village for approval prior to carrying out those items.

#### **Fee**

OHM proposes to provide the above outlined professional services for a Lump Sum fee of \$15,000.

#### **Contract Terms and Conditions**

The attached Standard Terms and Conditions, dated March 2003 and as shown as Exhibit 1, are incorporated into this proposal by reference. Section No. 7 is omitted per request of the Village.

We thank you for this opportunity to provide professional engineering services. Please do not hesitate to contact us if you have questions. Should you find our proposal acceptable, please execute both copies of the attached agreement and return one copy to us for our files.

Very truly yours,  
**ORCHARD, HILTZ & McCLIMENT, INC.**



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Rhett Gronevelt, P.E.  
Client Representative

**Village of Dexter  
Sanitary Sewer System Modeling**

Accepted By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

**VILLAGE OF DEXTER  
2008 MEETING SCHEDULE**

AGENDA 12-10-07

ITEM

L-11

VILLAGE COUNCIL	PLANNING COMMISSION	PARKS COMMISSION (Village Offices)	ZONING BOARD OF APPEALS	DOWNTOWN DEVELOPMENT AUTHORITY (Varying Locations) 2nd Thursday at 7:30 PM
2nd & 4th Monday at 7:30 PM *holiday week	1st Monday at 7:30 PM *holiday week	3rd Tuesday at 7 PM	3rd Monday at 7 PM *holiday week	
January 14, 2008	January 7, 2008	January 16, 2008	January 22, 2008 (Tues)*	January 10, 2008
January 28, 2008	February 4, 2008	February 19, 2008	February 20, 2008 (Wed)*	February 14, 2008
February 11, 2008	March 3, 2008	March 18, 2008	March 17, 2008	March 13, 2008
February 25, 2008	April 7, 2008	April 15, 2008	April 21, 2008	April 10, 2008
March 10, 2008	May 5, 2008	May 20, 2008	May 19, 2008	May 8, 2008
March 24, 2008	June 2, 2008	June 17, 2008	June 16, 2008	June 12, 2008
April 14, 2008	July 7, 2008	July 15, 2008	July 21, 2008	July 10, 2008
April 28, 2008	August 4, 2008	August 19, 2008	August 18, 2008	August 14, 2008
May 12, 2008	September 2, 2008	September 16, 2008	September 15, 2008	September 11, 2008
May 27, 2008 (Tues.)*	(Tues)*	October 21, 2008	October 20, 2008	October 9, 2008
June 9, 2008	October 6, 2008	November 18, 2008	November 17, 2008	November 13, 2008
June 23, 2008	November 3, 2008	December 16, 2008	December 15, 2008	December 11, 2008
July 14, 2008	December 1, 2008			
July 28, 2008				
August 11, 2008				
August 25, 2008				
September 8, 2008				
September 22, 2008				
October 13, 2008				
October 27, 2008				
November 10, 2008				
November 24, 2008				
December 8, 2008				
December 22, 2008				

All meetings are held at the Senior Center, 7720 Ann Arbor Street, unless otherwise noted.

\* If meetings are not on the regularly scheduled day due to a holiday, please check meeting location changes.

